



City of Del Mar Agenda Report

TO: Honorable Mayor and City Council Members

FROM: Martin Boyd, Project Manager II
Jennifer Gavin, Associate Planner
Joe Bride, Public Works Director
Via Ashley Jones, City Manager

DATE: December 4, 2023

SUBJECT: Utility Undergrounding District 1A – Stratford Court South Project Pre-Bid Update, Approval of Design Review Permit DRB23-024 and Land Conservation Permit LC23-014, and Approval of Task Order Amendment for Utility Specialists Southwest, Inc.

REQUESTED ACTION/RECOMMENDATION:

Staff recommends that the City Council:

- 1) Receive the Utility Undergrounding District 1A - Stratford Court South Project (UUD 1A) pre-bid update report;
- 2) Adopt a Resolution (Attachment A) approving Design Review Permit DRB23-024 and Land Conservation Permit LC23-014 for grading and installation of retaining walls required to locate undergrounded utility facilities in the Stratford Court City Right-of-Way and Easement adjacent to the properties at 639, 717, and 1105 Stratford Court and 215 9th Street;
- 3) Approve a \$71,178 Task Order Amendment (Attachment B) with Utility Specialists Southwest, Inc. for additional pre-construction services for UUD 1A;
- 4) Authorize the City Manager to execute the Task Order Amendment;
- 5) Authorize City Construction for UUDs 1A & X1A to proceed on a go-when-ready schedule.

DISCUSSION/ANALYSIS:

Background

The City of Del Mar continues to implement the citywide Undergrounding Program (UP), which will remove utility poles and replace overhead cables for electricity and telecommunications with underground lines. A map of the planned citywide Utility Undergrounding Districts (UDDs) is included with report as Attachment C for reference.

City Council Action:

ACTION TAKEN: SEE ATTACHED

ACTION TAKEN FOR ITEM 7:

IT WAS MOVED BY COUNCILMEMBER DRUKER, SECONDED BY COUNCILMEMBER GAASTERLAND TO AUTHORIZE CITY CONSTRUCTION FOR UUDS 1A & X1A TO PROCEED ON A GO-WHEN-READY SCHEDULE. (VOTE 5-0)

IT WAS MOVED BY COUNCILMEMBER WORDEN, SECONDED BY MAYOR MARTINEZ TO ADOPT RESOLUTION 2023-47, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DEL MAR, CALIFORNIA APPROVING DESIGN REVIEW PERMIT DRB23-024, AND LAND CONSERVATION PERMIT LC23-014 TO PERFORM CUT GRADING AND INSTALL NEW RETAINING WALLS WITHIN THE RIGHT OF WAY ADJACENT TO THE PROPERTIES AT 639, 717, AND 1105 STRATFORD CT AND 215 9TH STREET DEL MAR, CALIFORNIA, IN ORDER TO LOCATE REQUIRED UTILITY FACILITIES ASSOCIATED WITH THE 1A UTILITY UNDERGROUNDING". (VOTE 3-0, WITH COUNCILMEMBERS DRUKER AND GAASTERLAND RECUSED)

IT WAS MOVED BY COUNCILMEMBER WORDEN, SECONDED BY MAYOR MARTINEZ TO APPROVE A \$71,178 TASK ORDER AMENDMENT WITH UTILITY SPECIALISTS SOUTHWEST, INC. FOR ADDITIONAL PRE-CONSTRUCTION SERVICES FOR UUD 1A AND AUTHORIZE THE CITY MANAGER TO EXECUTE THE TASK ORDER AMENDMENT. (VOTE 3-0, WITH COUNCILMEMBERS DRUKER AND GAASTERLAND RECUSED)

On July 12, 2021, the City Council authorized formation of Utility Undergrounding District (UUD) 1A (Stratford Court South). UUD 1A was identified as the next district after completion of the Tewa Court/10th Street UUD pilot project, which was completed on February 8, 2023. UUD 1A includes 56 poles and 7,650 linear feet of overhead conversion to 9,135 linear feet of underground trench from 4th Street to 12th Street, including 227 properties and 464 residences. 64 of the homes or buildings require undergrounding of their private service lateral at the expense of the property owner. A map of UUD 1A is included as Attachment D.

The purpose of this report is to provide a project pre-bid update, seek Council approval for the Design Review and Land Conservation Permits, complete the CEQA review, and allocate additional pre-construction phase funding, all in preparation for the next major step, which is to initiate the public bidding process for the project as required by the California Public Contracts Code.

Project Pre-Bid Update

UUD 1A is nearing the public bidding phase and completion of the design phase which has been ongoing since the formation of this district. Design phase activities include surveying existing conditions, utility company designs, city civil engineering design, construction bid documents, homeowner service lateral design coordination, easement coordination/recordation, and permitting.

San Diego Gas & Electric (SDG&E) completed their preliminary designs in April 2023 and are currently finalizing their design documents. AT&T, Charter, and Crown Castle used SDG&E's joint trench layout to complete their final design documents. The City's undergrounding consultant and City staff completed the civil engineering design and are currently finalizing the construction bid documents. The public bidding phase is scheduled to start this month with an estimated date of February 20, 2024, for City Council award of the construction contract. The outstanding elements of the project are awaiting the final design documents from the utility companies and the necessary agreement with the City from SDG&E.

As part of the formation of UUD 1A on July 12, 2021, the total project cost was estimated at \$3.55 million. This includes the cost of required professional services during the design phase in preparation for the bid process, cost for construction, costs paid to the utility companies for their engineering fees and construction work, and the cost for third party construction management services during construction. This initial estimated project cost for UUD 1A was developed prior to the public bidding phase for the Tewa Court/10th Street UUD. Since that time, the estimated project costs have been updated with more accurate costs related to the utility companies and general construction based on actual costs from the Tewa Court/10th Street UUD.

The total project cost for UUD 1A is now estimated to be \$5.40 million with the primary changes in estimated costs from July 12, 2021, to the present being attributable to increases in utility companies, general construction, and construction management support costs. For utility companies' costs, the City only expects to pay AT&T for engineering and inspection and does not expect to incur any charges from Spectrum/Charter. For general contractor costs, the original estimate was made prior to truly understanding the construction costs based on the actual costs of the Tewa Court/10th Street UUD. Furthermore, the original estimate was based on linear feet of overhead as opposed to underground joint trench, which is a more accurate statistic to estimate. The latest general contractor cost is based on the engineer's estimate included as Attachment E. Due to lessons learned during Tewa, the City is now including a full-time, contract construction management position during City construction and as needed for other portions of the project, as previously directed by the City Council. Attachment F includes a budget summary reflecting the estimated project costs from initial district formation, the recent CIP budget update, and current pre-bid engineer's estimate for comparison.

It is important to note that while a more refined engineer's estimate is provided by the City's undergrounding consultant, it is ultimately the construction market that will determine the actual cost of the project. Like all City construction projects, the cost of construction will be determined through the competitive bidding process that the City is required to undertake in order to identify the lowest qualified bidder for the project. The City Council will ultimately consider the lowest bid for the project and determine whether to award the contract and initiate the start of project construction.

As part of the Capital Improvement Program budget update on July 6, 2023, the City allocated \$5.38 million in funding from Measure Q for the UUD 1A. Any necessary additional funding requests will be based on the results of the competitive construction bidding process.

Design Review and Land Conservation Permit

A Design Review Permit (DRB23-024) and a Land Conservation Permit (LC23-014) are necessary for UUD 1A because the project requires retaining walls and grading to create level accessible ground in sloping areas for dry utility equipment. The locations are at 639, 717, and 1105 Stratford Court and 215 9th Street within the City's public right-of-way and proposed easement. The retaining walls at 639, 717, and 1105 Stratford Court require the City to obtain retaining wall easements for the protection and operation of dry utility equipment. Staff will return to City Council for retaining wall easements approval prior to construction. As part of the approval for the Tewa Court/10th Street UUD, City Council provided approval for the undergrounding projects to utilize stone veneer or tan split face RCP block for retaining walls. The proposed retaining walls will be faced with the City Council approved stone veneer and includes the following heights and grading quantities:

Pursuant to DMMC 23.33, proposed grading exceeding 25 cubic yards (cut or fill) outside of the footprint of any structure and/or grading that results in a permanent property elevation change exceeding 18 inches, shall require approval of a Land Conservation Permit (LC). The following are the grading quantities at each retaining wall location:

Adjacent Address	Wall Height	Grading Quantity	Grading Height
639 Stratford Ct.	3.55 feet	5.9 CY of cut	2.6 feet of cut
717 Stratford Ct.	3.56 feet	2.8 CY of cut	2.1 feet of cut
215 9 th St South (Stratford Ct. adjacent to Winston School)	4.19 feet	11.1 CY of cut	3.3 feet of cut
215 9 th St North (Stratford Ct. adjacent to Winston School)	3.8 feet	41.3 CY of cut	3.8 feet of cut
1105 Stratford Ct.	2.19 feet	6.5 CY cut	1.2 feet of cut
Total		67.6 CY	

Location of equipment was sited to minimize the need for grading and, as seen in the chart above, is a minimal amount of grading (67.6 CY total for all sites). Attachment G includes a new equipment exhibit for UUD 1A which details the location of new transformers, pedestals, and retaining walls. Attachment H to L includes exhibits with detailed information for all retaining wall locations.

As part of the design process for UUD 1A, the City's as-needed arborist, West Coast Arborist, completed an inventory of Del Mar's protected tree species (Torrey Pines and Monterey Cypresses) within the work area for the project. All protected trees identified are to remain and have been identified in the plans. West Coast Arborist's report, including a Tree Protection Plan, provide for tree protection measures for protected trees located where grading or trenching is to occur. These measures include using hand tools for excavation with supervision by a Certified Arborist. Protected trees are located within the vicinity of the wall locations at 639 and 1105 Stratford Ct and the plans show the Tree Protection Zone. The contractor selected to perform the work will be required to follow the Tree Protection Plan included as Attachment M to this report.

This project is exempt from a Coastal Development Permit pursuant to DMMC 30.75.200 J. 2. in that the overhead facilities are to be undergrounded into the existing public road and the road will be restored as closely as is reasonable possible to its original condition.

Pursuant to DMMC 23.08.070, a Design Review Permit must be approved unless findings of fact (based upon information presented during a public hearing) can be made that the project as proposed will result in a conflict with one or more of the Regulatory Conclusions included in the Design Review Ordinance. Similarly, DMMC 23.33.040 stipulates that a request for a Land Conservation Permit shall be approved unless the request conflicts with one or more of the findings in the Land Conservation Ordinance. Staff finds that the design, location, and grading required for the walls is not in conflict with the Design Review Ordinance and that grading is minimal and not in conflict with any of the findings of the Land Conservation Ordinance and recommends approval of the draft resolution attached to this Staff Report (Attachment A).

Task Order Amendment for UUDs 1A Pre-Construction Services

A Task Order Amendment for Utility Specialists Southwest, Inc. is necessary to cover the cost of additional pre-construction services for UUD 1A. The additional pre-construction services include \$4,500 for development of plat and legal for City retaining wall easements and \$81,327 for additional time for enhanced communication and coordination with residents and SDG&E during the pre-construction phase. However, UUD 1A Civil Engineering activities are complete and there is a credit of \$14,650 for un-used budget that will be used to offset the additional amount. The additional time for enhanced communication and coordination was recently brought to staff's attention due to higher than anticipated effort for this task. This includes preparation and additional revisions of homeowner lateral and easement exhibits, frequent updating of homeowner database, homeowner communications, development of the UP Communications Plan, and coordination with SDG&E.

The City previously allocated funds and issued a task order to Utility Specialists Southwest Inc. for pre-construction activities related to UUD 1A. In order to continue implementing the Council's prior direction related to enhanced coordination/communications with residents prior to construction for the project, the task order with Utility Specialists for the project needs to be amended and increased funding authorized. The proposed UUD 1A task order amendment is for \$71,178, bringing the task order total in at \$647,877 (12.1% of estimated project cost) for preconstruction activities, which are further described in Exhibit A to Attachment B.

There are additional savings on UUD 1B of \$32,306 related to pre-formation activities that will also help offset the additional pre-construction costs on UUD 1A.

UUDs 1A and X1A Construction Timing Recommendation

On February 16, 2023, the Undergrounding Project Advisory Committee (UPAC) formed a subcommittee to evaluate and develop objective criteria and a recommendation for determining whether the City's construction activities for UUDs 1A and X1A should be done sequentially, concurrently, or go-when-ready. A sequential schedule has City construction activities for UUD 1A proceeding before UUD X1A, a concurrent schedule has City construction activities proceeding at the same time for both projects, and a go-

when-ready schedule has City construction activities proceeding when each project is ready. The subcommittee's analysis, objective criteria for determining best approach to City construction activities for 1A and X1A, advantages for each scenario, and recommendation for how to proceed was presented to UPAC on November 14, 2023, and is included as Attachment N.

The UPAC unanimously recommended the City Council authorize staff to proceed with City construction for UUDs 1A & X1A on a go-when-ready schedule. This schedule optimizes the timing for both projects, and there are limited expected drawbacks to proceeding based on the objective criteria. Attachment O includes a program schedule for the districts currently in process (UUDs 1A, X1A, and 1B).

Next Steps

The next steps for UUD 1A are as follows:

- File a Notice of Exemption (NOE) pursuant to the California Environmental Quality Act (CEQA) with the San Diego County Recorder's Office. A copy of the NOE will then be submitted to SDG&E as confirmation that environmental review pursuant to CEQA was completed for this project. SDG&E requires this step and has indicated they require eight weeks for review prior to the commencement of construction, hence completion of this step will occur now in order for that review period to run in tandem with the public bidding process.
- Receive construction package from SDG&E and final design plans from Charter.
- Receive final agreement and cost estimate from SDG&E.
- Public bidding process for construction contractors, evaluation of bids, award of construction contract by City Council, and issuance of Notice to Proceed. Staff anticipates bringing the construction contract award to City Council for consideration at the February 20, 2024 meeting.
- Obtain SDG&E joint trench and City retaining wall easements.
- Final step per Del Mar Municipal Code Chapter 23.54 will be City Council adoption of a resolution declaring the date by which all poles within UUD 1A must be removed.

FISCAL IMPACT:

There is no fiscal action to be taken by the City Council related to this agenda item. There are sufficient funds available in the Fiscal Year 2023-2024 Operating and Capital Budget to perform the pre-construction task order work. Any necessary additional funding requests will be made prior to award of the construction contract following the public bidding process. The following is the funding allocated to UUD 1A as of now.

PROGRAM	FUND	ACCOUNT	AMOUNT
Undergrounding (FY21-22 Carryover)	Measure Q	02.7000.7202	\$555,900
Undergrounding (FY23-24 Budget)	Measure Q	02.7000.7202	\$3,325,500
Undergrounding (FY24-25 Budget)	Measure Q	02.7000.7202	\$1,500,000
Penny Lane Imprv (FY23-24 Budget)	General	55.7000.7032	\$30,000
931 Stratford Ct (FY23-24)	In-Lieu	01.2319.1000	\$4,160
Total Funding			\$5,415,560

ENVIRONMENTAL IMPACT:

Pursuant to the California Environmental Quality Act (CEQA), the proposed project has been analyzed and determined to be Categorical Exempt pursuant to CEQA Guidelines Section 15302(d) (Class 2) in that the project includes the undergrounding of public utilities where the surface will be restored to the existing condition, and CEQA Guidelines Section 15304 (Class 4) in that any grading required to provide access to utilities constitutes a minor alteration in the condition of the land. The proposed project has been designed based on recommendations in an Arborist’s Report titled “City of Del Mar Assessment of Torrey Pines” prepared by West Coast Arborists dated June 3, 2021 to avoid impacts and/or the removal of healthy, mature, scenic trees as a result of the proposed activities (report is on-file with the City of Del Mar, 1050 Camino del Mar, Del Mar, CA 92014). It has been further determined that none of the six exceptions to the use of a categorical exemption would apply to this project (CEQA Guidelines Section 15300.2) and the project has been designed to avoid sensitive environmental resources.

NEXUS TO CITY COUNCIL GOALS AND PRIORITIES:

Utility Undergrounding is listed as a Tier 1 City Council priority for FYs 2023-2024 and 2024-2025.

ATTACHMENTS:

- Attachment A – Draft Resolution – DRB23-024 and LC23-014
- Attachment B – Utility Specialists Southwest, Inc. Task Order Amendment
 - Exhibit A to Attachment B – UUD 1A Pre-Construction Services Scope of Work
- Attachment C – UP Citywide Map
- Attachment D – UUD 1A Stratford Court South Map
- Attachment E – Engineer’s Estimate for City Construction
- Attachment F – UUD 1A Project Budget
- Attachment G – UUD 1A New Equipment Exhibit
- Attachment H – 639 Stratford Ct Retaining Wall Exhibit
- Attachment I – 717 Stratford Ct Retaining Wall Exhibit
- Attachment J – 215 9th St (South) Retaining Wall Exhibit
- Attachment K – 215 9th St (North) Retaining Wall Exhibit
- Attachment L – 1105 Stratford Ct Retaining Wall Exhibit
- Attachment M – UUD 1A & X1A Arborist Report
- Attachment N – UUDs 1A&X1A City Construction Timing Recommendations
- Attachment O – UUDs In-Progress Schedule

RESOLUTION NO. 2023-XX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DEL MAR, APPROVING DESIGN REVIEW PERMIT DRB23-024, AND LAND CONSERVATION PERMIT LC23-014 TO PERFORM CUT GRADING AND INSTALL NEW RETAINING WALLS WITHIN THE RIGHT OF WAY ADJACENT TO THE PROPERTIES AT 639, 717, AND 1105 STRATFORD CT AND 215 9TH STREET DEL MAR, CALIFORNIA, IN ORDER TO LOCATE REQUIRED UTILITY FACILITIES ASSOCIATED WITH THE 1A UTILITY UNDERGROUNDING

WHEREAS, on July 12, 2021, the City Council of the City of Del Mar conducted a Public Hearing forming the 1A Utility Undergrounding District to remove utility poles and replace overhead cables for electricity and telecommunications with underground lines in the vicinity of those streets; and

WHEREAS, the City of Del Mar (“City”) is the owner of the public right-of-ways adjacent to 639, 717, and 1105 Stratford Court and 215 9th Street; and

WHEREAS, on October 31, 2023, the City of Del Mar (herein referred to as “Applicant”) filed an application for Design Review Board (DRB) Permit and Land Conservation (LC) Permit (the “Project”) to perform cut grading and install new retaining walls within the public right-of-way adjacent to the properties at 639, 717, and 1105 Stratford Court and 215 9th Street, Del Mar, California, in order to locate required utility facilities associated with the 1A Utility Undergrounding District; and

WHEREAS, Pursuant to the California Environmental Quality Act (CEQA), the proposed project has been analyzed and determined to be Categorically Exempt pursuant to CEQA Guidelines Section 15302(d) (Class 2) in that the project includes the undergrounding of public utilities where the surface will be restored to the existing condition, and CEQA Guidelines Section 15304 (Class 4) in that any grading required to provide access to utilities constitutes a minor alteration in the condition of the land. The proposed project has been designed based on recommendations in an Arborist’s Report titled “City of Del Mar Assessment of Torrey Pines” prepared by West Coast Arborists dated June 3, 2021 to avoid impacts and/or the removal of healthy, mature, scenic trees as a result of the proposed activities (report is on-file with the City of Del Mar, 1050 Camino del Mar, Del Mar, CA 92014). It has been further determined that none of the six exceptions to the use of a categorical exemption would apply to this project (CEQA Guidelines Section 15300.2) and the project has been designed to avoid sensitive environmental resources; and

WHEREAS, the project is exempt from a Coastal Development Permit pursuant to DMMC 30.75.200 J. 2. in that the overhead facilities are to be undergrounded into the existing public road and will be restored as closely as is reasonable possible to its original condition; and

WHEREAS, on December 4, 2023 the City Council of the City of Del Mar held a duly noticed public hearing to review the referenced entitlements at which time all persons desiring to be heard were heard; and

WHEREAS, evidence was submitted and considered to include without limitation:

- a. Plans submitted by the applicant.
- b. Written information submitted with the application.
- c. Staff Report, dated December 4, 2023 which is incorporated by this reference as though fully set forth herein; and
- d. Additional information submitted during the hearing; and

WHEREAS, Section 23.08.070 of the Design Review Ordinance (also herein referred to as "DRO") states:

23.08.070 Design Regulations. An application shall be approved unless the Design Review Board makes findings of fact based upon the information presented during the hearing that support one or more of the Regulatory Conclusions contained in this Chapter; and

WHEREAS, Section 23.33.040 of the Land Conservation Permit Ordinance provides that an application for a Land Conservation Permit shall be approved unless the Design Review Board makes one or more of the findings set forth in the Ordinance: and

NOW, THEREFORE, BE IT RESOLVED the City Council of the City of Del Mar that DRB23-024 and LC23-014 are approved based on the following findings:

Section 1: Design Review Permit

Based upon the project plans and substantial evidence presented at the public hearing on December 4, 2023 Applicant's representative's written and oral testimony amending the Application, and in accordance with Del Mar Municipal Code (DMMC) Section 23.08.070, the City Council of the City of Del Mar finds that the Project, as conditioned, will not be detrimental to the Community based on the Regulatory Conclusions Sections of DMMC Chapter 23.08 (Design Review).

Section 2: Land Conservation Permit

Based upon the project plans and substantial evidence presented at the public hearing on December 4, 2023, including written and oral staff reports, public written and oral testimony, Applicant's and Applicant's representative's written and oral

testimony amending the Application, and in accordance with Del Mar Municipal Code (DMMC) Section 23.33.020, the City Council of the City of Del Mar finds that the Project will not be detrimental to the Community based on its conformance with DMMC Chapter 23.33 (Land Conservation).

NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of Del Mar recommends application DRB23-024, and LC23-014 be approved subject to the conditions listed on the following pages;

General Conditions

[Note: The conditions listed below may have gaps in numbering or lettering. These gaps are intentional.]

G-1 *[Business License]*

Prior to commencement of any work on site, all contractors and subcontractors shall obtain a valid City of Del Mar Business License. The general contractor shall be responsible for ensuring that all subcontractors obtain required Business License and shall retain copies of said permits on site for verification by City staff.

G-3 *[Development Authorization Limited to Plan Set]*

This permit is granted based on submitted plans dated October 31, 2023, and so identified by the staff of the Del Mar Planning and Community Development Department. Revisions to these plans and/or any proposals for modification shall require review and prior authorization from the appropriate entities of the City of Del Mar.

G-7 *[Code Compliance]*

Approval of this application shall not waive the requirement for compliance with the provisions of the Del Mar Municipal Code or other applicable City regulations in effect at the time of Building Permit issuance, unless specifically waived in this permit authorization.

G-11 *[Plan for Construction-Phase Impacts]*

Prior to commencement of project implementation (whichever comes first), the applicant shall provide a plan for construction-phase parking and equipment/materials storage for the project.

G-13 *[Permit Expiration]*

This permit shall expire three years from the date of approval, on December 4, 2023 unless a Building Permit has been issued (if required by the DMMC) and substantial construction has been accomplished in reliance upon the permit. Pursuant to the DMMC,

substantial construction is defined as: completion of a minimum of 10% of the total amount of construction authorized by the permit, based on the monetary value of construction costs including grading, site preparation and construction but specifically excluding all costs associated with the acquisition of interest in the project site and all costs associated with the preparation and processing of permits or plans.

G-16 [Compliance with City Noise Regulations]

The applicant and all parties involved with implementation of the project shall comply with the regulations of the DMMC with regard to construction noise. The regulations stipulate that all construction activities are limited to the following periods: between 7:00 a.m. and 7:00 p.m./Monday through Friday and between 9:00 a.m. and 7:00 p.m. on Saturdays. Construction activities are prohibited during other hours and on Sundays and City Holidays. The City's Noise Ordinance, Chapter 9.20 of the Del Mar Municipal Code, includes the dates of City Holidays, and can be viewed on the City's web page (www.delmar.ca.us).

G-17 [Dig Alert]

Prior to excavation or trenching, the applicant shall call Underground Service Alert of Southern California (Dig Alert- 1-800-227-2600) for a mark out of service utilities.

G-18 [Rules for Construction-related Signage]

All construction-related signage posted at the project site shall comply with DMMC Chapter 30.84 (Signs). The pertinent sections of the Sign Chapter allow installation of a total 5.5 square feet of temporary signage on a residential property (that is cumulative of all signs posted). Such signs may be posted for a maximum of sixty (60) days in a calendar year.

The restrictions noted above do not apply to the Development Pending, Construction Noise Notice and Building Permit signs required by the City as part of the project review process.

All construction related signage, including City required signs, shall be removed prior to final approval of the project

Engineering Conditions:

These conditions shall be incorporated into the Plan Set or added to the Project Specifications.

E-1 The Plan shall be in compliance with applicable National Pollutant Discharge Elimination System (NPDES) stormwater requirements and shall incorporate

the use of “Best Management Practices” (BMPs) to control runoff or discharge onto the City rights-of-way and to avoid run-off onto adjacent properties.

In addition to the considerations listed above, the Plan shall also address/incorporate the following:

- E-1A A topographical map indicating right-of-way lines, topographic features and existing and/or proposed utilities prepared by a Registered Civil Engineer or a Licensed Land Surveyor. Said map shall include two-foot contour lines and/or sufficient spot elevations to clearly represent existing and proposed topographical features. Survey shall extend the width of the right-of-way, within limits of work;
- E-1B The location of all existing or proposed easements which extend past the right-of-way, which are to be used for the utility proposed;
- E-1C The inclusion of a traffic control plan for any phased work within the right-of-way, shall be submitted to the Public Works Department prior to commencement of work;
- E-1D The proposed retaining walls shall be designed and constructed completely within the public right-of-way and easement. No portion of the wall or footing shall extend across the right-of-way line onto private property, unless there is an easement. The limits of the footing of the proposed retaining walls shall be depicted on the plan set. The applicant shall provide a plan and profile view of the proposed retaining wall that will depict top of wall and top of footing elevations;
- E-1E Retaining wall sub-drains will not discharge onto City streets, as they contribute to nuisance water. Sub-drains shall discharge on soil, within the right-of-way, to allow percolation back into the soil;
- E-1F Trench restoration shall be per County of San Diego Regional Standard Drawings. Any distressed pavement within, or adjacent to, the saw-cut limits shall be removed and replaced to the satisfaction of the City Engineer at no additional cost to the City.
- E-1G The methods for providing temporary erosion control during the construction phase of the project, complete with the inclusion of standard improvement plan and erosion control notes on the plan set;
- E-1H The applicant shall stabilize all slopes per City approved method; and

- E-11 Following construction completion, the project designer shall inspect as-built improvements. Significant discrepancies, if any, between the approved plans and as-built conditions shall be brought to the attention of the Planning and Community Development Department and City Engineer. An as-built plan prepared by the project designer will be required. Prior to final sign-off by the City Engineer, the project designer shall sign the as-built plan indicating that the project was completed in accordance with said plan.

- E-2 Cuts into hillsides shall require the applicant to obtain a Land Conservation (LC) permit, pursuant to the provisions of the Del Mar Municipal Code (DMMC).

- E-3 Prior to project commencement the applicant shall record any easement that is required on private property for the installation of the utility. The easement document shall be prepared to the satisfaction of the Planning and Community Development Director.

- E-4 Should any retaining walls need to be designed by a California Licensed Structural Engineer, the applicant shall provide a Geotechnical Report for the project providing the required soil parameters needed to design the proposed retaining walls. The Report shall be prepared, signed and sealed by a Certified Engineering Geologist and a Geotechnical Engineer or Registered Civil Engineer. This Report shall be subject to review and approval by the City Engineer, City Building Department, and if deemed necessary, a third-party with expertise in geotechnical issues. The report required herein shall:
 - E-4A Evaluate existing site constraints;
 - E-4B Evaluate potential effect of proposed construction on nearby slopes, sensitive topographic features and neighboring properties;
 - E-4C Evaluate any mitigation measures if necessary;
 - E-4D Evaluate recommendations for any special construction methods as necessary; and
 - E-4E Provide recommendations for back-cuts for the construction of retaining walls. These recommendations shall include a time limit that the back-cuts can remain in place without either creating a stable backfill or completing construction of the approved retaining walls.

- E-5 The applicant shall provide a construction-parking plan that minimizes the effect of construction worker parking in the neighborhood and shall include an estimate of the number of workers that will be present on the site during the various phases of construction and indicate where sufficient off-street parking will be utilized and identify any locations for off-site material deliveries. Said plan shall be approved by the Department of Public Works and the City Engineer prior to issuance of City permits and shall be enforced during construction. Failure to enforce the parking plan may result in suspension of the City permits.
- E-6 The applicant shall restrict hours of work for the use of heavy equipment during grading and improvements between the hours of 7:30AM to 5:00PM, this includes the warmup of equipment. Saturday, Sunday and City holiday work is prohibited.
- E-7 All construction activities undertaken shall comply with the City's General Plan and Municipal Code. In cases of conflict between the City's Municipal Code, these standard conditions of approval, the governing priority shall be, to the extent legally permitted, as follows: 1) City's Municipal Code regulations; 2) City's General Plan; 3) Standard Conditions.
- E-8 Pedestrian access along all public streets in the project area shall be maintained at all times unless material is being delivered to the site.
- E-9 Any special or unique surfaces shall be restored in-kind. For example, cobblestone gutters shall be restored in-kind. Permittees are required to salvage as much of the existing materials as possible for reuse in the restoration and shall supply any new material with substantially similar characteristics as required for proper restoration.
- E-10 The Permittee shall warrant that any trench backfill, trench restoration, pavement restoration, or other work performed in the Right-of-Way will be free from all defects due to faulty materials or quality of work for a period of one (1) years after the date the work was inspected and approved by the City. Upon failure of the pavement restoration within the one (1) year warranty period, the Permittee shall repair or remove and replace all such backfill, Pavement restoration, or other work, together with any other Pavement areas directly affected by that removal or replacement, without any expense to the City.
- E-11 Construction Start Notification Letters shall be received by all addresses at least two Days before commencing the work and must include the project limits,

general scope of work, construction start and end dates, and name of contractor if other than the Applicant.

- E-12 When the permitted work will affect residents' access to their property or will disrupt utility services, written notices must be hand delivered by means of door hangers to each residence, as well as to the Public Works Department. The Work Area and Schedule must be included on the notice and all notices delivered at least five (5) business days in advance of commencing work.
- E-13 All construction work shall be performed and conducted so as not to interfere with access to the fire hydrants. Materials or obstructions shall not be placed within 15 feet of fire hydrants. Accessways provided by Contractor leading to fire hydrants shall be kept free of all obstructions at all times.
- E-14 The Contractor performing work in the right-of-way shall cleanup the work area daily, including the removal of debris and any excess construction material. There shall be no spoil material stockpiling within the right-of-way upon completion of the workday. Dusty conditions shall be controlled daily by appropriate methods such as sweeping when warranted or as directed by the City Engineer.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Del Mar, California, at a Regular Meeting held the 4th day of December 2023

Tracy Martinez, Mayor
City of Del Mar

APPROVED AS TO FORM:

Leslie E. Devaney, City Attorney
City of Del Mar

ATTEST AND CERTIFICATION:

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO
CITY OF DEL MAR

I, Sarah Krietor, Administrative Services Manager/City Clerk of the City of Del Mar, California, DO HEREBY CERTIFY, that the foregoing is a true and correct copy of Resolution No. 2023-XX, adopted by the City Council of the City of Del Mar, California, at a Regular Meeting held the 4th day of December 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sarah Krietor, Administrative Services
Manager/City Clerk
City of Del Mar



CITY OF DEL MAR

December 4, 2023

ATTACHMENT B

Utility Specialists Southwest, Inc.
Attn: Duane Strooboscher
4429 Morena Boulevard
San Diego, CA 92117
des@utilityspecialists.com

SENT VIA EMAIL

RE: TASK ORDER AMENDMENT & NOTICE TO PROCEED FOR THE UTILITY UNDERGROUND DISTRICT 1A (STRATFORD COURT SOUTH) – PRE-CONSTRUCTION SERVICES (ACCOUNT 02.7000.7202 – PO#58-00529)

This Task Order (TO) Amendment and Notice to Proceed (NTP) is issued pursuant to the terms and conditions contained in the as-needed Specialized Electrical Engineering Services Related to Implementation of a Citywide Undergrounding Program Agreement between the City of Del Mar and Utility Specialists Southwest, Inc. (Consultant), the term for which is December 16, 2019, to December 16, 2024.

Consultant shall execute tasks related to the Utility Underground District 1A (Stratford Court South), as described in the Consultant’s proposal included as Exhibit A to this Task Order. The project cost for this Task Order Amendment shall not exceed **\$71,178**. The project schedule shall commence upon execution of this Task Order Amendment/Notice to Proceed, and shall be completed by March 2024, to the satisfaction of the Public Works Director, in accordance with the proposed Scope of Work included in Exhibit A.

The primary contact for this Task Order and invoicing is Martin Boyd, Project Manager II, who can be reached at mboyd@delmar.ca.us and (858) 375-9531.

Please sign and return an original copy of this Task Order to Denise Galvan, Management Analyst, via mail to City of Del Mar, 1050 Camino del Mar, Del Mar, CA 92014 and email a PDF copy to dgalvan@delmar.ca.us.

Approved by:
City of Del Mar

Accepted by:
Utility Specialists Southwest, Inc.

Ashley Jones Date
City Manager

Duane Strooboscher Date
Vice President

cc: Joe Bride, Public Works Director
 Martin Boyd, Project Manager II

Exhibit A: Utility Specialists Southwest, Inc. - UUD 1A Pre-Construction Services Scope of Work



4429 Morena Boulevard
 San Diego, California 92117
 858.581.2250

11/28/2023

City of Del Mar Undergrounding Program - Task Order #02b - District 1A Stratford Ct. Remaining to Complete

Task Order #02b includes additional services highlighted below from September 2022 through completion of construction for District 1A assuming total of 26 months for design starting July 2021, 3 months bidding, and 12 months construction.

Task Order #02b - District 1A Stratford Ct. Remaining to Complete

Item #	Description	US Principal	KCM Principal	US Sr. PM	KCM Sr. PM	US Asst PM	KCM Asst PM	KCM PC	Fuscoe	Total Cost
1	City and Agency Coordination									
a	Participate in by-weekly coordination calls with CDM staff - assumes a one-hour call every other week for 5 months with time divided between Districts 1A, X1A, & 1B.				4.0		4.0			\$1,440
b	Prepare agendas, draft and distribute minutes for by-weekly calls with time divided between Districts 1A, X1A, & 1B.				4.0					\$787
c	Attend City Council hearings, if requested by City staff. Assumes attendance at two hearings plus travel with time divided between Districts 1A, X1A, & 1B.		6.0		6.0					\$2,460
c2	Attend quarterly UPAC meetings during design & bidding phases. Attendance at quarterly in-person meetings (2 EA), assist City staff with meeting preparation and follow up action items with time divided between Districts 1A, X1A, & 1B.		2.0		6.0					\$1,600
d	Prepare 1A status reports and other handout materials, as requested by City staff, for City Council hearings.				2.0		1.0			\$555
e	Assist staff with negotiations with SDG&E and other utility agencies - complete.									\$0
f	Draft and distribute meeting minutes for SDGE and utility meetings and site visits - complete.									\$0
Subtotal City and Agency Coordination		0.0	8.0	0.0	22.0	0.0	5.0	0.0	\$0	\$6,842
2	District 1A Design									
a	Surveying & Mapping - complete.									\$0
b	Concept Revisions/ Coordination			60.0						\$10,800
c	Design Coordination for Public ROW			12.0						\$2,160
	* Develop design and construction schedules. Update design schedule periodically.				2.0					\$390
	* Easement coordination; Right of Entry Permits; includes meetings with homeowners as necessary to obtain 7 executed easements				14.0					\$2,730
d	Design Coordination for Private lateral extensions			16.0						\$2,880
	* Review Homeowner provided information; includes meetings with property owners regarding coordination of service laterals location and installation			8.0	30.0					\$7,290
e	50% Civil Design - complete.									\$0
f	100% Civil Design: Allowance for Plats & Legals for Retaining Wall Easements								\$4,500	\$4,500
g	Improvement Plan Processing									\$0
h	Allowance for other design support services, as requested - see contingency.			12.0						\$2,160
i	Filing and document management.									\$0
Subtotal District Design		0.0	0.0	108.0	46.0	0.0	0.0	0.0	\$4,500	\$32,910
3	Resident Interface and Project Status Tracking									
a	Attend meetings with City Attorney and staff to finalize City policy - complete.									\$0
b	Draft, in coordination with CDM, Right of Entry request - complete.									\$0
c	Draft, in coordination with CDM, homeowner notification letters regarding laterals and easements - complete.									\$0
d	Assist City in responding to resident questions submitted via website - included below.									\$0

Task Order #02b - District 1A Stratford Ct. Remaining to Complete

Item #	Description	US Principal	KCM Principal	US Sr. PM	KCM Sr. PM	US Asst PM	KCM Asst PM	KCM PC	Fuscoe	Total Cost
e	Finalize format of Customer-Based Tracking and Monitoring Database - complete.									\$0
f	Populate database with property owner and resident contact information: Periodic repopulation of database with more current owner information from GIS and water billings have been required.							20.0		\$1,900
g	Regular updates to database with project status and homeowner communications. Includes 5 months of tracking and reports, assumed at approximately 1.5 hours per month Sr. PM and 12 hours per month Asst PM time.				8.0		60.0	20.0		\$13,360
h	Schedule, coordinate, and lead neighborhood meeting - complete.									\$0
i	Draft, in coordination with CDM, district design and bidding status update letters to residents. Assumed sent out quarterly.				2.0					\$390
j	Provide technical content and status updates for use in periodic media outreach and website updates.				2.0					\$390
k	Draft, in coordination with CDM, hearing notification to residents for City Council decision on progressing into construction.				2.0					\$390
l	Filing and document management.							20.0		\$1,900
Subtotal Resident Interface and Communications		0.0	0.0	0.0	14.0	0.0	60.0	60.0	\$0	\$18,330
4	Public Bidding Support									
a	Finalize front-end bid documents, bid items, and special terms and conditions.				12.0		4.0			\$3,000
b	Publish Notice Inviting Bids.				4.0					\$780
c	Contact potential bidders and distribute bid package.				8.0					\$1,560
d	Coordinate and manage Pre-Bid meeting.				6.0					\$1,170
e	Manage bid RFI's, preparation of bid addendums, and distribute addendums to bidders, assumes up to three separate addendums.				20.0		12.0			\$5,880
f	Coordinate and manage Bid Opening meeting.				4.0					\$780
g	Review bids for completeness and accuracy, assumes six bidders, and prepare bid analysis.				12.0		16.0			\$4,980
Subtotal Public Bidding Support		0.0	0.0	0.0	66.0	0.0	32.0	0.0	\$0	\$18,150
Total Hours During Design & Bidding		0.0	8.0	108.0	148.0	0.0	97.0	60.0		
Rate Per Hour		\$190	\$215	\$180	\$195	\$120	\$165	\$95		
Total Cost During Design & Bidding		\$0	\$1,720	\$19,440	\$28,867	\$0	\$16,005	\$5,700	\$4,500	
Subtotal Estimated Cost for Remaining Design & Bidding										\$76,232
Contingency										\$11,435
Minus 1A Task Order Balance Remaining. KCM Balance = \$1839. Fuscoe Balance = \$14,649.25										(\$16,488)
Total Estimated Cost for Task Order #02b - District 1A Stratford Ct. Additional Services										\$71,178

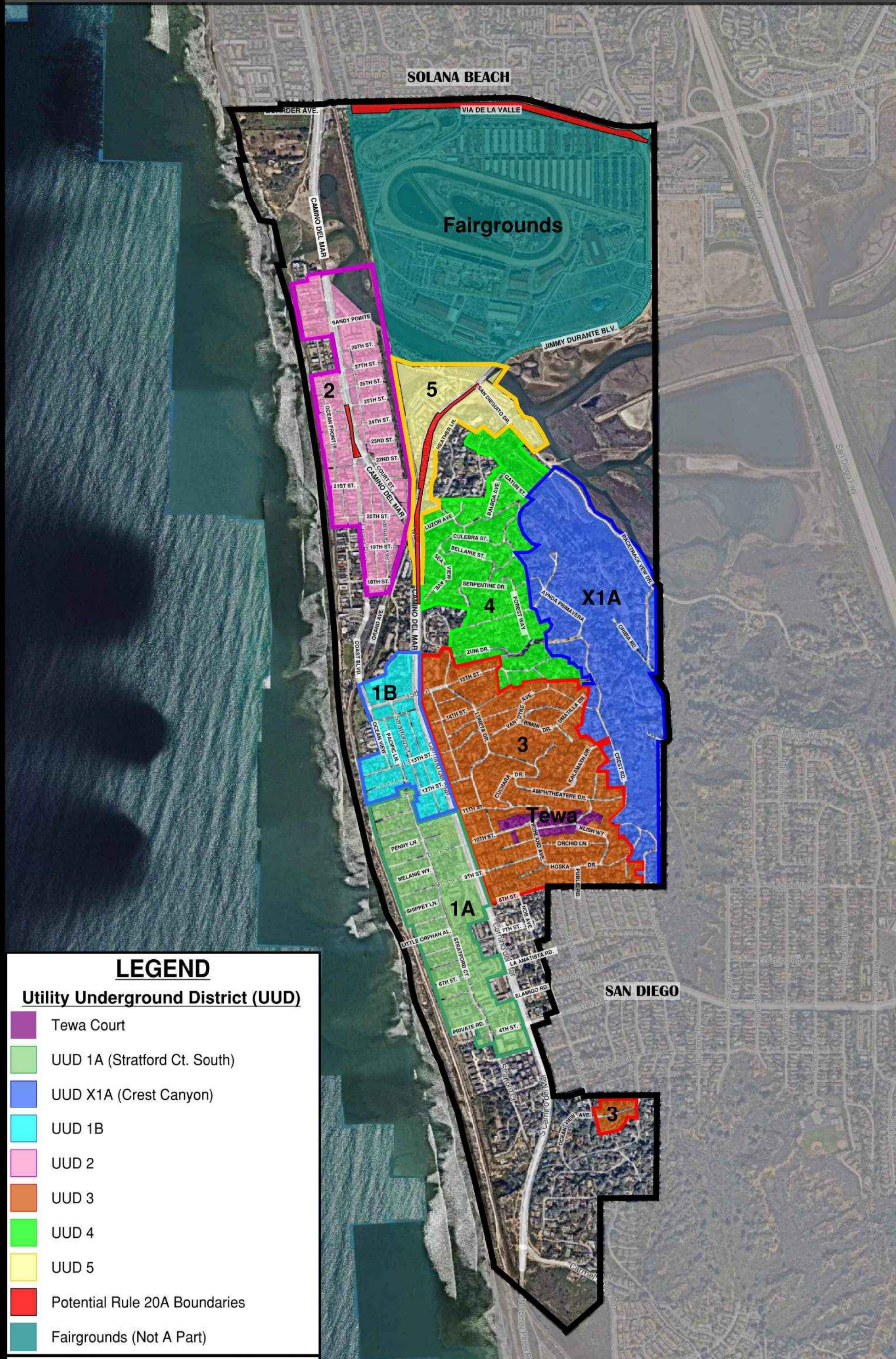
Exclusions

Attendance at Meetings/Hearings not Specifically Included
 Notifications to property owners regarding consequences of refusing to underground
 Participation in enforcement actions on homeowners refusing to underground
 Management of private lateral undergrounding excluded – assumes coordination only
 Communications Subconsultant Support - to be provided by City Consultant
 Social Media Development, Operations - Assume by City
 Graphic Design will be a Reimbursable Expense

Direct Mail will be a Reimbursable Expense
 GIS Support and GIS Exhibits
 City Resident Engineer Inspections

Citywide Utility Undergrounding Map

ATTACHMENT C



LEGEND

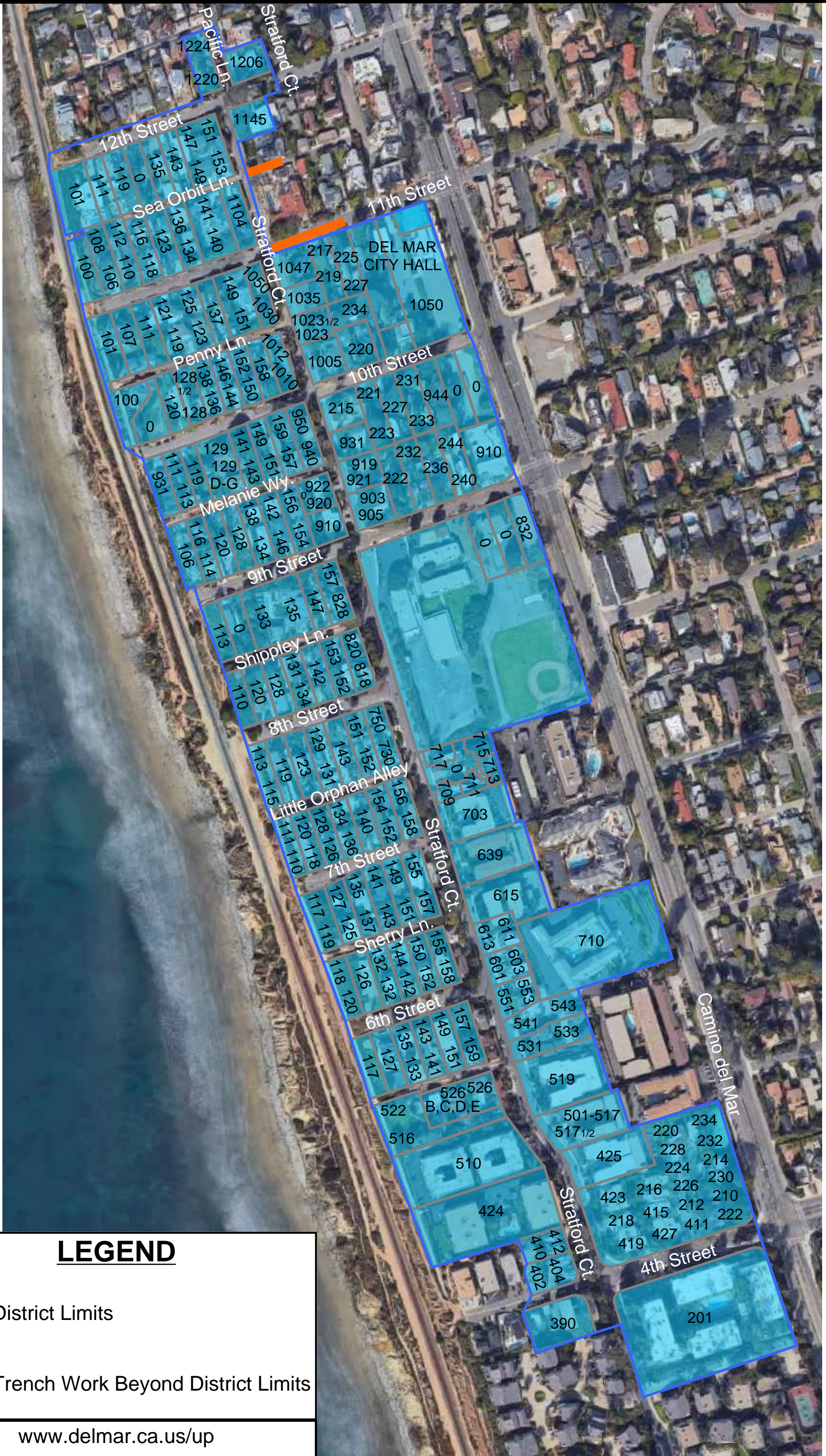
Utility Underground District (UUD)

- Tewa Court
- UUD 1A (Stratford Ct. South)
- UUD X1A (Crest Canyon)
- UUD 1B
- UUD 2
- UUD 3
- UUD 4
- UUD 5
- Potential Rule 20A Boundaries
- Fairgrounds (Not A Part)

NOTE: UUD numbers shown on this exhibit indicate priority ranking, by the City Council.

Utility Undergrounding District 1A (UUD 1A) - Stratford Court South

ATTACHMENT D



LEGEND



District Limits



Trench Work Beyond District Limits

www.delmar.ca.us/up

OPINION OF PROBABLE COST

City of Del Mar
Stratford Court South 1A Conversion
Prepared for: City of Del Mar
November 28, 2023

Item	Description	Quantity	Units	Unit Cost	Total Cost
GENERAL					
1	MOBILIZATION/DEMOBILIZATION	1	LS	20,000.00	20,000
2	TRAFFIC CONTROL PLANS, INSTALL AND MAINTAIN TRAFFIC CONTROL	1	LS	65,000.00	65,000
3	CONSTRUCTION STAGING	1	LS	15,000.00	15,000
4	STORM WATER POLLUTION PREVENTION AND EROSION CONTROL BMP'S	1	LS	20,000.00	20,000
5	POTHOLING	335	EA	400.00	134,000
6	CONSTRUCTION SURVEY AND SURVEY MONUMENT PRESERVATION	1	LS	30,000.00	30,000
7	TORREY PINE TREE PROTECTION FENCING AND SIGNAGE	15	EA	500.00	7,500
DEMOLITION					
8	CLEARING AND GRUBBING AND DEMOLITION OF CONCRETE AND ASPHALT (INCLUDES SAW CUTTING, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	1	LS	150,000.00	150,000
9	REMOVE, SALVAGE, AND REINSTALL PARKING SIGN	1	LS	350.00	350
DRY UTILITY					
10	EXCAVATE TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	48	EA	500.00	24,000
11	JOINT TRENCH EXCAVATION (INCLUDING HAND DIGGING WHEN WITHIN TORREY PINE TREE CRITICAL ROOT ZONE, BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	11,165	LF	33.50	374,061
12	INSTALL DB 2" CONDUIT	340	LF	11.00	3,740
13	INSTALL DB 3" CONDUIT	10,240	LF	12.00	122,880
14	INSTALL DB 4" CONDUIT	10,765	LF	13.00	139,945
15	INSTALL 3309 HANDHOLES	2	EA	1,212.00	2,424
16	INSTALL 3312 HANDHOLES	1	EA	3,840.00	3,840
17	INSTALL 3313 HANDHOLES	16	EA	4,644.00	74,304
18	INSTALL 3314 HANDHOLES	1	EA	6,392.00	6,392
19	INSTALL 3315 HANDHOLES	7	EA	6,500.00	45,500
20	INSTALL 3316 HANDHOLES	1	EA	6,600.00	6,600
21	CONSTRUCT 3421 TRANSFORMER PADS	19	EA	2,465.00	46,835
22	CONSTRUCT 3416 TERMINATOR PADS	1	EA	2,480.00	2,480
23	CONSTRUCT 3 PHASE FUSE CABINET PADS	2	EA	3,500.00	7,000
24	INSTALL 2" AT&T CONDUIT	3,962	LF	5.00	19,810
25	INSTALL 4" AT&T TYPE C RIGID CONDUIT	12,948	LF	13.46	174,215
26	INSTALL 2' x 3' AT&T HANDHOLE	17	EA	931.16	15,830
27	INSTALL 2' x 3' x 3' AT&T HANDHOLE TRAFFIC RATED	19	EA	2,778.10	52,784
28	INSTALL 30" x 48" AT&T HANDHOLE	2	EA	3,000.00	6,000
29	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 2-ROD TGB	5	EA	3,250.00	16,250
30	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 3-ROD TGB	3	EA	3,500.00	10,500

Item	Description	Quantity	Units	Unit Cost	Total Cost
31	INSTALL 3' x 5' x 4' AT&T HANDHOLE	1	EA	4,250.00	4,250
32	INSTALL 3' x 5' AT&T HANDHOLE WITH 2-ROD TGB	1	EA	4,500.00	4,500
33	EXCAVATE 4' x 4' x 4' PIT TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	72	EA	500.00	36,000
34	INSTALL 1" CHARTER CONDUIT	1,614	LF	5.00	8,070
35	INSTALL 2" CHARTER CONDUIT	22,205	LF	7.00	155,435
36	INSTALL 3" CHARTER CONDUIT	5,586	LF	10.00	55,860
37	INSTALL CHARTER 9" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	4	EA	318.00	1,272
38	INSTALL CHARTER 12" X 12" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	16	EA	500.00	8,000
39	INSTALL CHARTER 14" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	14	EA	700.00	9,800
40	INSTALL CHARTER 2' X 3' VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	3	EA	800.00	2,400
41	INSTALL CHARTER 2' X 3' TRAFFIC RATED VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	EA	800.00	8,800
42	INSTALL 17"X30" CHARTER VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	LS	715.00	7,865
43	INSTALL 10" CIRCULAR CHARTER PULLBOXES (EXCLUDES MATERIAL FURNISHED BY OTHERS)	1	LS	1,000.00	1,000
44	INSTALL 1-1/4" CROWN CASTLE CONDUIT	11,970	LF	5.00	59,850
45	INSTALL 2" CROWN CASTLE CONDUIT	3,990	LF	7.00	27,930
46	INSTALL 2' x 3' CROWN CASTLE PULL BOX	7	EA	931.16	6,518
47	STONE VENEER RETAINING WALLS (INCLUDING BACK CUT, FOOTING EXCAVATION, FOOTING, CMU BLOCK, REBAR, WATERPROOFING, BACKFILL, FINISH SURFACE, SPOIL DISPOSAL, CAP, AND ANTI-GRAFFITI COATING)	1,145	SF	82.50	94,463
SURFACE IMPROVEMENTS - GENERAL					
48	TRENCH RESURFACING PER SDRSD G-24A AND G-24B	27,235	SF	18.90	514,742
49	REROUTE PRIVATE STORM DRAIN PIPE (STRATFORD STA 4+78.87)	1	LS	3,000.00	3,000
50	6" CONCRETE CURB & GUTTER PER SDRSD G-02, WITH ASPHALT OVERLAY TO MATCH EXISTING	130	LF	45.00	5,850
51	REPLACE IN KIND CONCRETE DRIVEWAYS (9 LOCATIONS)	885	SF	16.00	14,160
52	REPLACE IN KIND CONCRETE SIDEWALK PER SDRSD G-07	2,325	SF	10.75	24,994
53	REMOVE & REPLACE PEDESTRIAN RAMP INCLUDING REMOBILIZATION AFTER POLE REMOVAL (STRATFORD STA 7+63.55)	1	EA	12,000.00	12,000
54	RESTRIPING: REPAIR OF PAINT STRIPING (INCLUDES RESTRIPING TO MATCH ADJACENT STREET MARKINGS, STOP SIGNS, CROSSWALKS, LIMIT LINES)	1	LS	25,000.00	25,000
SURFACE IMPROVEMENTS - PENNY LANE					
55	DEMOLITION: WOOD RETAINING WALL (INCLUDES PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	65	LF	8.00	520
56	GRADING FOR AREA APPURTENANCES AT PENNY LANE	1	LS	15,000.00	15,000
57	8" CONCRETE CURB PER SDRSD G-1, WITH ASPHALT PATCH TO MATCH EXISTING	65	LF	47.00	3,055
58	CONCRETE RIBBON GUTTER (INCLUDES SAWCUTTING, AC PAVING REMOVAL, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	330	SF	18.00	5,940
59	2" GRIND AND OVERLAY	545	SF	4.00	2,180

Item	Description	Quantity	Units	Unit Cost	Total Cost
60	STORM DRAIN HEADWALL AT PENNY LANE PER SDRSD D-32, TYPE B	1	EA	7,500.00	7,500
61	24"x24" INFILTRATION CATCH BASIN AT PENNY LANE	1	EA	11,500.00	11,500
LANDSCAPING & SITE DRAINAGE					
62	IRRIGATION REPAIRS, AS NECESSARY AND IMMEDIATELY FOLLOWING REMOVAL OR DAMAGE	1	LS	15,000.00	15,000
63	HYDROSEED MIX APPLICATION IN ALL DISTURBED LANDSCAPE AREAS	3,770	SF	1.60	6,032
64	BOLLARDS, PER _SDG&E_	15	EA	1,118.00	16,770
Subtotal Base Bid Schedule "A"					2,772,496
CONTINGENCY					277,250
Total Base Bid Schedule "A"					3,049,746

Item	Description	Quantity	Units	Unit Cost	Total Cost
BID SCHEDULE "B" (ALTERNATE NO. 1)					
1.1	1.5" AC OVERLAY WITH 6' WIDE EDGE GRIND, INCLUDING RAISE MANHOLE COVER & VALVES TO GRADE: 48,267 SF (FROM APROX. STA 2+90 TO STA 16+95)	48,267	SF	4.00	193,068
1.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 1.5" OVERLAY AND EDGE GRIND AREA: 4,827 SF (FROM APROX. STA 2+90 TO STA 16+95) AS DIRECTED BY THE CITY.	4,827	SF	4.75	22,928
1.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN 1.5" OVERLAY AND EDGE GRIND AREA (FROM APROX. STA 2+90 TO STA 16+95)	5,735	SF	(4.00)	-22,940
1.4	REMOVE AND REPLACE CROSS-GUTTER PER SDRSD G-13 (FROM APPROX. 16+95 TO STA 17+05)	424	SF	31.00	13,144
Subtotal Alternate Bid Schedule "B"					206,200
BID SCHEDULE "C" (ALTERNATE NO. 2)					
2.1	3" AC GRIND AND OVERLAY: 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	5,773	SF	5.00	28,865
2.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 577 SF (FROM APPROX. STA 1+25 TO STA 2+90) AS DIRECTED BY THE CITY.	577	SF	3.50	2,020
2.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN AC PAVING GRIND AND OVERLAY 3": 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	750	SF	(5.00)	-3,750
Subtotal Alternate Bid Schedule "C"					27,135
BID SCHEDULE "D" (ALTERNATE NO. 3)					
3.1	AC PAVING GRIND AND OVERLAY 3": 27,059 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00)	27,059	SF	5.00	135,295
3.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 2,706 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00) AS DIRECTED BY THE CITY.	2,706	SF	3.50	9,471

Item	Description	Quantity	Units	Unit Cost	Total Cost
3.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN AC PAVING GRIND AND OVERLAY 3": 27,059 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00) AREAS	4,095	SF	(5.00)	-20,475
3.4	REMOVE AND REPLACE CROSS-GUTTERS PER SDRSD G-12, (2 LOCATIONS: 50+00.00 AND 31+15.00)	640	SF	31.00	19,840
3.5	REMOVE SPEED BUMP AND REPLACE WITH SPEED CUSHION PER PLAN DETAIL (STA 32+50.00)	1	LS	2,500.00	2,500
Subtotal Alternate Bid Schedule "D"					146,631
BID SCHEDULE "E" (ALTERNATE NO. 4)					
4.1	ASHALT EMULSION: 21,836 SF (FROM STA 1+85.00 TO STA 21+85.00)	21,836	SF	0.50	10,918
Subtotal Alternate Bid Schedule "E"					10,918
CONTINGENCY					3,909
Total Alternate Bid Schedules "B", "C", "D" & "E"					394,793

Disclaimer:

All estimates and budgets prepared by Consultant are expressions of opinion of probable costs and should not be construed as a promise or guarantee of actual costs. As such, costs may vary from estimates.

UUD 1A Estimated Total Project Costs (02-7000-7202)

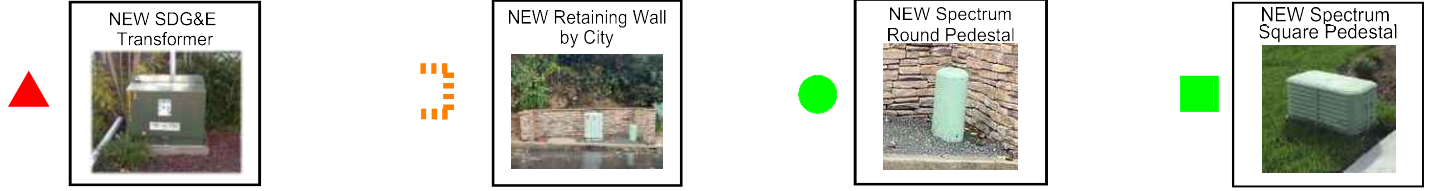
11/28/23

Does not include costs for internal staff time or necessary City personnel for project management

Work Categories	District Formation Budget 7-12-21	CIP Budget Update 7-6-23	Pre-Bid Budget 12-4-23
Pre-Construction Phase - Professional Services			
Utility Specialists - Pre-Construction Services (Includes US, KCM, Fuscoe)	\$543,900	\$604,270	\$647,877
1. City and Agency Coordination (Change Order 10-16-23)	\$27,100	\$54,170	\$43,370
2. District 1A Design (Change Order 10-16-23)	\$423,010	\$456,310	\$505,352
3. Resident Interface and Project Status Tracking	\$56,160	\$56,160	\$68,925
4. Public Bidding Support	\$37,630	\$37,630	\$30,230
City Arborist Review	\$5,000	\$5,000	\$3,525
Environmental Review; City to complete in-house	TBD	\$0	\$0
GIS Services As-Needed	\$2,000	\$2,000	\$0
Communications Consultant Services	\$5,000	\$5,000	\$5,000
Subtotal for Pre-Construction Professional Services	\$555,900	\$616,270	\$656,402
Utility Companies - Estimates for City Paid Design and Construction Costs			
SDG&E <i>Estimated based on UUD Tewa. 7-12-21 estimated per LF of overhead. 7-6-23 & 12-4-23 estimated per LF of trench.</i>	\$904,842	\$959,175	\$1,004,850
AT&T <i>7-6-21 estimated based on UUD Tewa. 7-6-23 & 12-4-23 updated based on UUD 1A specific including 15% contingency</i>	\$678,632	\$180,000	\$163,944
Spectrum/Charter	\$284,297	\$0	\$0
Crown Castle	\$0	\$0	\$0
Subtotal for Utility Company Costs	\$1,867,771	\$1,139,175	\$1,168,794
Construction Phase			
City's General Contractor (Actual amount will be determined via City bid process). 7-12-21 estimate based on \$120/LF of overhead. 7-6-23 estimate based on UUD Tewa \$344.40/LF of trench. 12-4-23 estimate based on engineer's estimate.	\$918,000	\$3,146,108	\$3,049,746
Utility Specialists Construction Management and Support (18-month construction) 7-12-21 for as needed for duration of construction. 7-6-23 & 12-4-23 for full-time for City construction and as-needed for remainder.	\$169,820	\$423,740	\$423,740
Storm Water Compliance Services <i>7-12-21 included as part of above line item. 7-6-23 & 12-4-23 seperated for City to complete SWPPP in-house</i>		\$22,080	\$22,080
Additional Construction Management Services Contingency <i>For any necessary professional services during construction not accounted for in the budget estimated at 20%-25% of construction management & support.</i>	\$42,455	\$33,964	\$84,748
Subtotal for Construction Phase	\$1,130,275	\$3,625,892	\$3,580,314
Combined Estimated Total	\$3,553,946	\$5,381,337	\$5,405,510

Del Mar UUD 1A Stratford Ct South ATTACHMENT G

New Equipment Work Zone 1

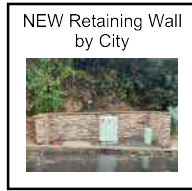


UNDERGROUNDING PROGRAM EQUIPMENT IS LOCATED IN ACCORDANCE WITH SDGE DESIGN SAFETY REQUIREMENTS AND CANNOT BE MOVED. EXHIBIT SHOWS NEW ABOVEGROUND ONLY AND NOT UPSIZED PEDESTALS OR HANDHOLES.

Del Mar UUD 1A Stratford Ct South New Equipment Work Zone 2

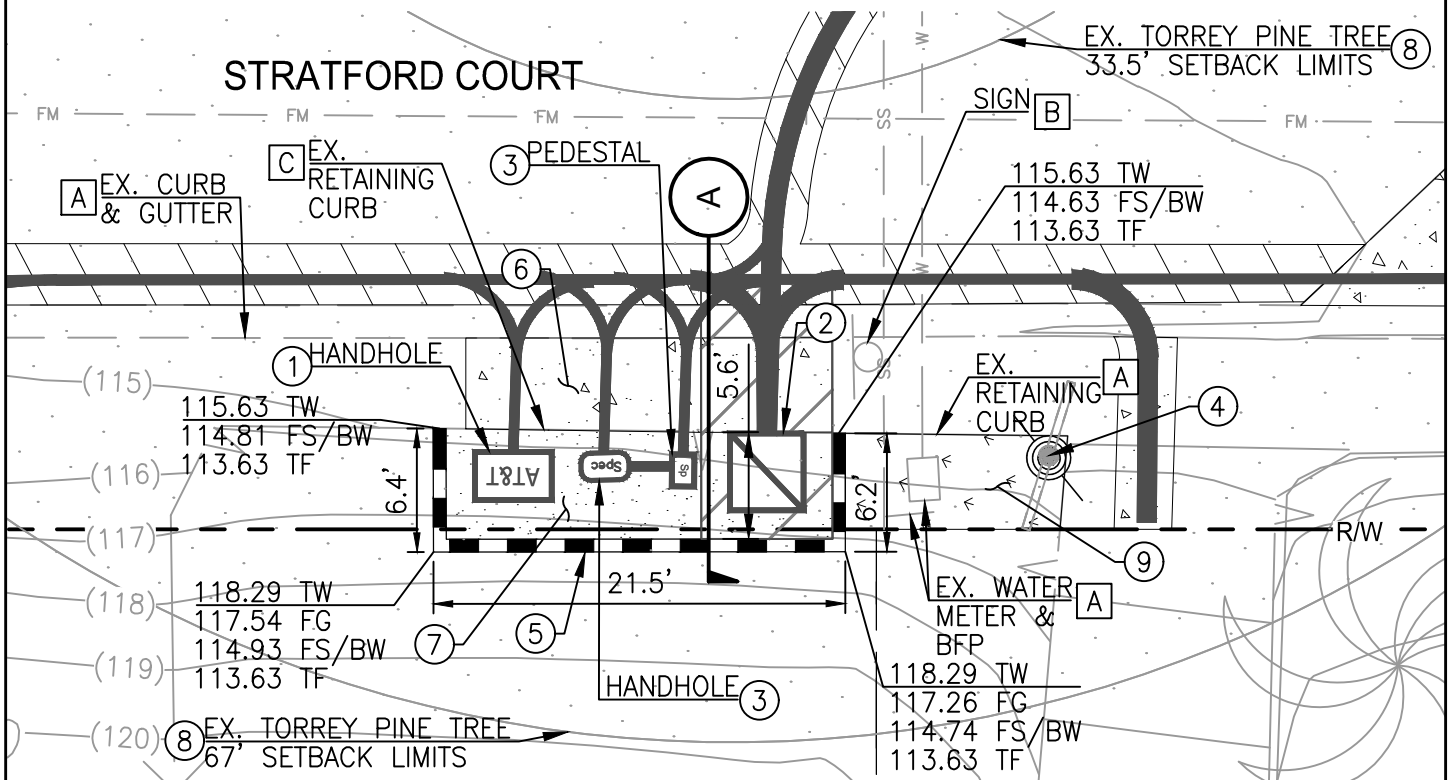


Del Mar UUD 1A Stratford Ct South New Equipment Work Zone 3



RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 639 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



CONSTRUCTION NOTES:

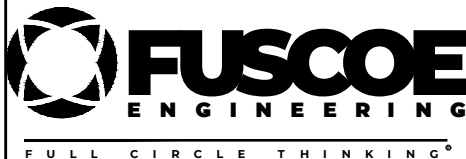
- ① ATT HANDHOLE
 - ② SDG&E TRANSFORMER PAD
 - ③ SPECTRUM DRY UTILITY STRUCTURE
 - ④ EXISTING SDG&E POLE TO BE REMOVED BY OTHERS
 - ⑤ STONE VENEER MASONRY RETAINING WALL PER COUNTY OF SAN DIEGO REGIONAL STANDARDS. COLOR PER TECHNICAL PROVISIONS AND THE APPROVAL OF THE CITY REPRESENTATIVE.
 - ⑥ REPLACE 4" PCC SIDEWALK TO NEAREST JOINT PER SDRSD G-07
 - ⑦ DECOMPOSED GRANITE SURFACING WITHIN WALL AROUND EQUIPMENT
 - ⑧ EXISTING TORREY PINE TREE TO REMAIN AND PROTECT IN PLACE, SEE PLAN FOR LOCATION
 - ⑨ NECESSARY IRRIGATION REPAIRS. PROTECT ALL TREES IN PLACE.
- [A] PROTECT IN PLACE
 [B] TO BE RELOCATED AS DIRECTED BY CITY
 [C] TO BE REMOVED

GENERAL NOTES:

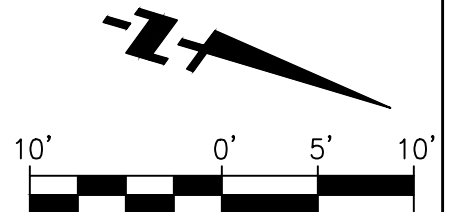
MAX. EXPOSED WALL HEIGHT: 3.6'
 HYDROSEED AROUND WALL
 EXCAVATION AS NEEDED PER
 TECHNICAL PROVISIONS

EARTHWORK QUANTITIES:

MAX. EXISTING SLOPE: 2.8:1
 MAX. VERTICAL CUT: 2.6'
 CUT = 160 CF
 FILL = 0 CF
 EXPORT = 160 CF OR 5.9 CY



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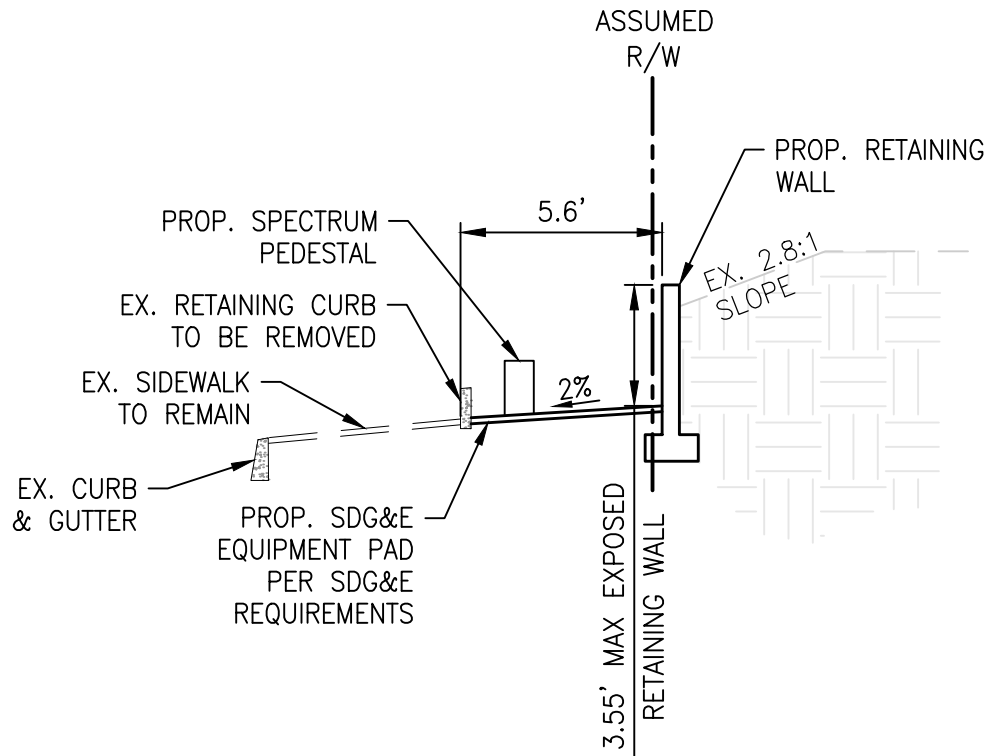
SCALE: 1" = 10'

SHEET 1 OF 4

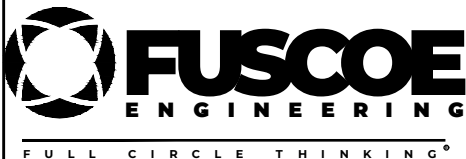
C:\AUTODESK\AUTOSAVE\ACPU\BLISH_2796\639 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 11:16:00AM) Plotted by: jodams

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 639 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



SECTION A
NOT TO SCALE



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RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 639 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

WALL MATERIAL: STONE VENEER - MOUNTAIN LION



SPECTRUM 2'X3' HANDHOLE



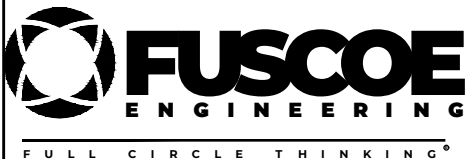
AT&T 2'X3' HANDHOLE



SPECTRUM PEDESTAL 24" HIGH



SDG&E TRANSFORMER



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SHEET 3 OF 4

C:\AUTODESK\AUTOSAVE\ACPUBLISH_2796\639 STRATFORD CT - RET WALL_EXH.DWG (11-14-2023 11:16:02AM) Plotted by: jodams

RETAINING WALL PLAN

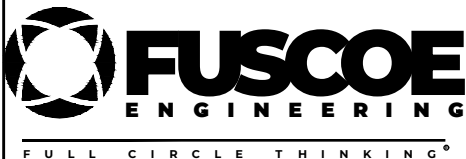
STRATFORD CT ROW ADJACENT TO 639 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



VICINITY MAP



PROPOSED RETAINING
WALL LOCATION



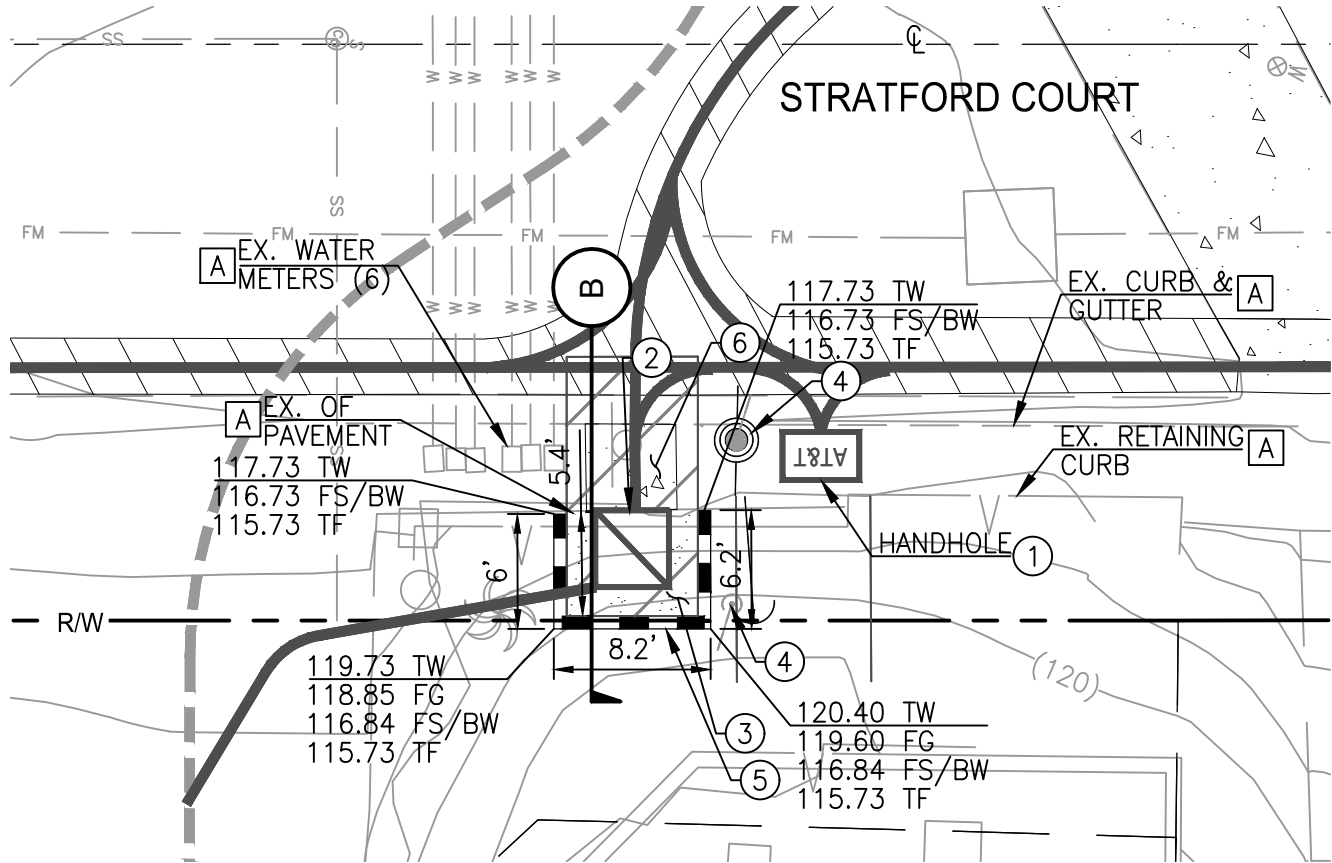
6390 Greenwich Dr 858.554.1500
Suite 170
San Diego, Ca 92122 fuscoe.com

SHEET 4 OF 4

C:\AUTODESK\AUTOSAVE\ACPUBLISH_2796\639 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 11:16:02AM) Plotted by: jodams

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 717 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



CONSTRUCTION NOTES:

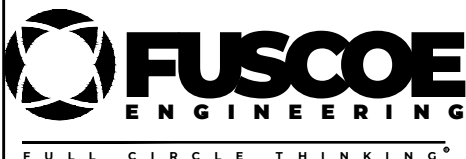
- ① ATT HANDHOLE
- ② SDG&E TRANSFORMER PAD
- ③ DECOMPOSED GRANITE SURFACING WITHIN WALL AROUND EQUIPMENT
- ④ EXISTING SDG&E POLE AND GUY WIRE TO BE REMOVED BY OTHERS
- ⑤ STONE VENEER MASONRY RETAINING WALL PER COUNTY OF SAN DIEGO REGIONAL STANDARDS. COLOR PER TECHNICAL PROVISIONS AND THE APPROVAL OF THE CITY REPRESENTATIVE.
- ⑥ REPLACE 4" PCC SIDEWALK TO NEAREST JOINT PER SDRSD G-07
- [A] PROTECT IN PLACE

GENERAL NOTES:

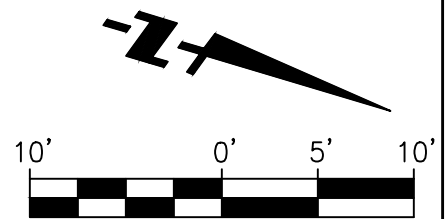
MAX. EXPOSED WALL HEIGHT: 3.6'
HYDROSEED AROUND WALL EXCAVATION AS NEEDED PER TECHNICAL PROVISIONS

EARTHWORK QUANTITIES:

MAX. EXISTING SLOPE: 2:1
MAX. VERTICAL CUT: 2.1'
CUT = 75 CF
FILL = 0 CF
EXPORT = 75 CF OR 2.8 CY



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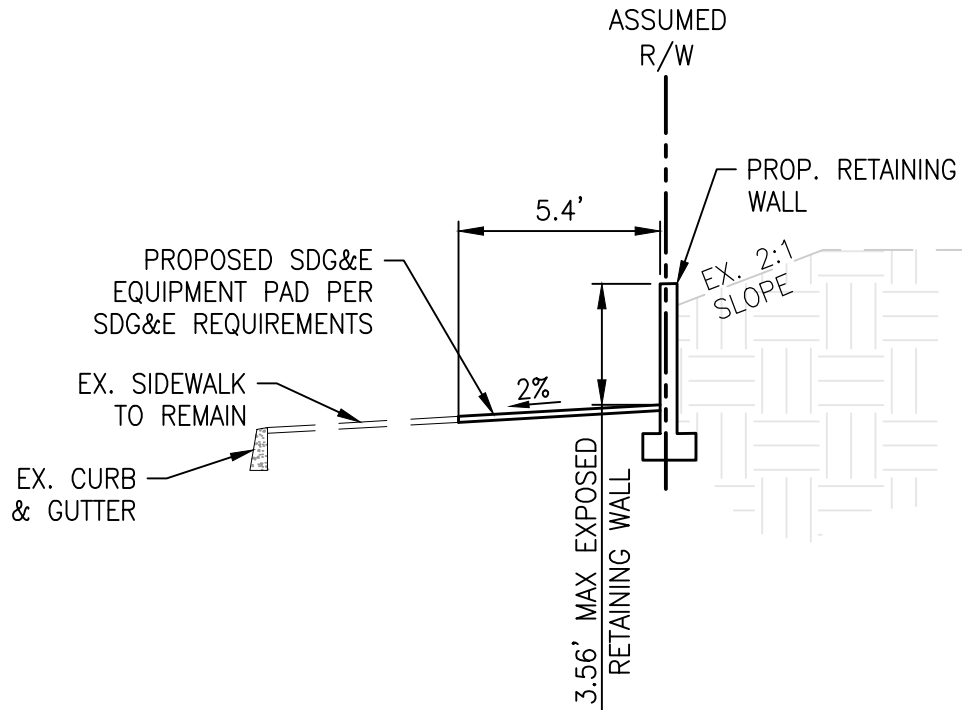
SCALE: 1" = 10'

SHEET 1 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\717 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:01:54AM) Plotted by: jodoms

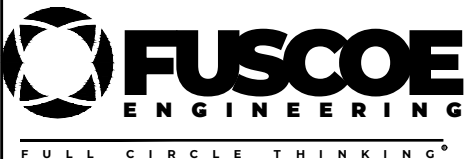
RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 717 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



SECTION B

NOT TO SCALE



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SHEET 2 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\717 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:01:56AM) Plotted by: jodams

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 717 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

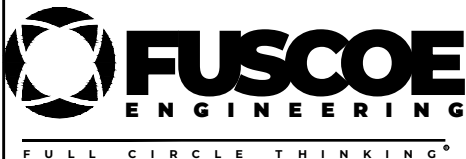
WALL MATERIAL: STONE VENEER - MOUNTAIN LION



SDG&E TRANSFORMER



AT&T 2'X3' HANDHOLE



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SHEET 3 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\717 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:01:56AM) Plotted by: jodams

RETAINING WALL PLAN

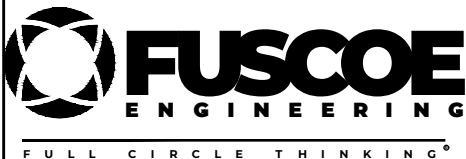
STRATFORD CT ROW ADJACENT TO 717 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



VICINITY MAP



PROPOSED RETAINING
WALL LOCATION



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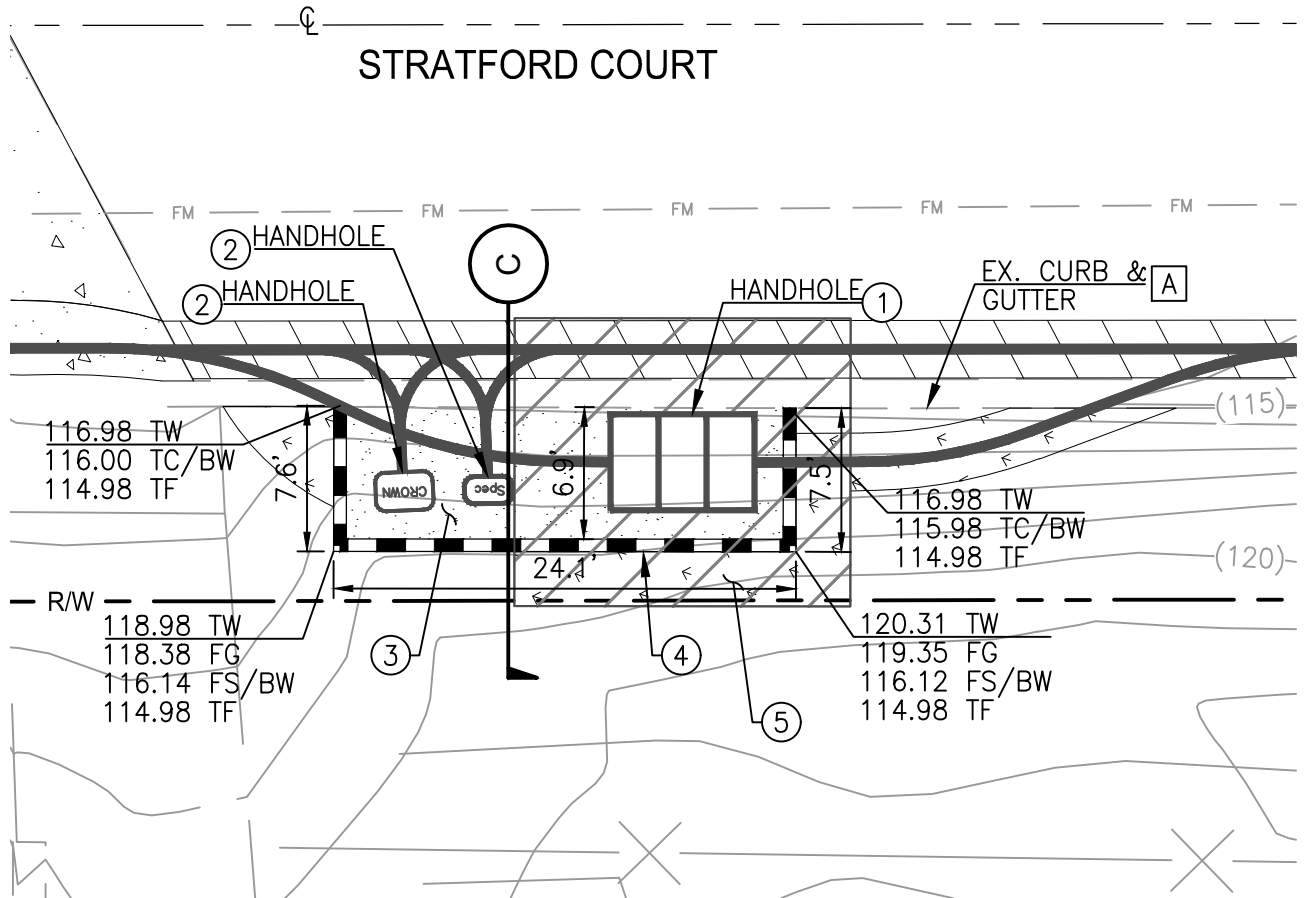
858.554.1500
fuscoe.com

SHEET 4 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\717 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:01:56AM) Plotted by: jodams

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (SOUTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



CONSTRUCTION NOTES:

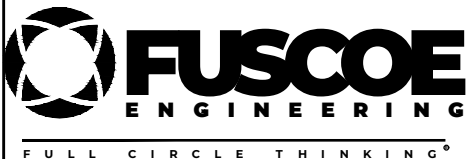
- ① SDG&E HANDHOLE
 - ② SPECTRUM DRY UTILITY STRUCTURE
 - ③ DECOMPOSED GRANITE SURFACING WITHIN WALL AROUND EQUIPMENT
 - ④ STONE VENEER MASONRY RETAINING WALL PER COUNTY OF SAN DIEGO REGIONAL STANDARDS. COLOR PER TECHNICAL PROVISIONS AND THE APPROVAL OF THE CITY REPRESENTATIVE.
 - ⑤ HYDROSEED MIX PER TECHNICAL PROVISIONS INCLUDING ANY NECESSARY IRRIGATION REPAIRS. PROTECT ALL TREES IN PLACE.
- [A] PROTECT IN PLACE

GENERAL NOTES:

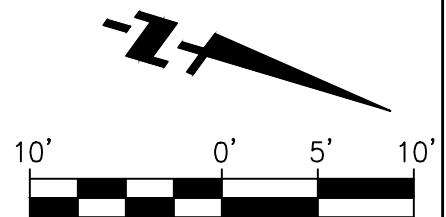
MAX. EXPOSED WALL HEIGHT: 4.2'
HYDROSEED AROUND WALL
EXCAVATION AS NEEDED PER
TECHNICAL PROVISIONS

EARTHWORK QUANTITIES:

MAX. EXISTING SLOPE: 3.3:1
MAX. VERTICAL CUT: 3.3'
CUT = 300 CF
FILL = 0 CF
EXPORT = 300 CF OR 11.1 CY



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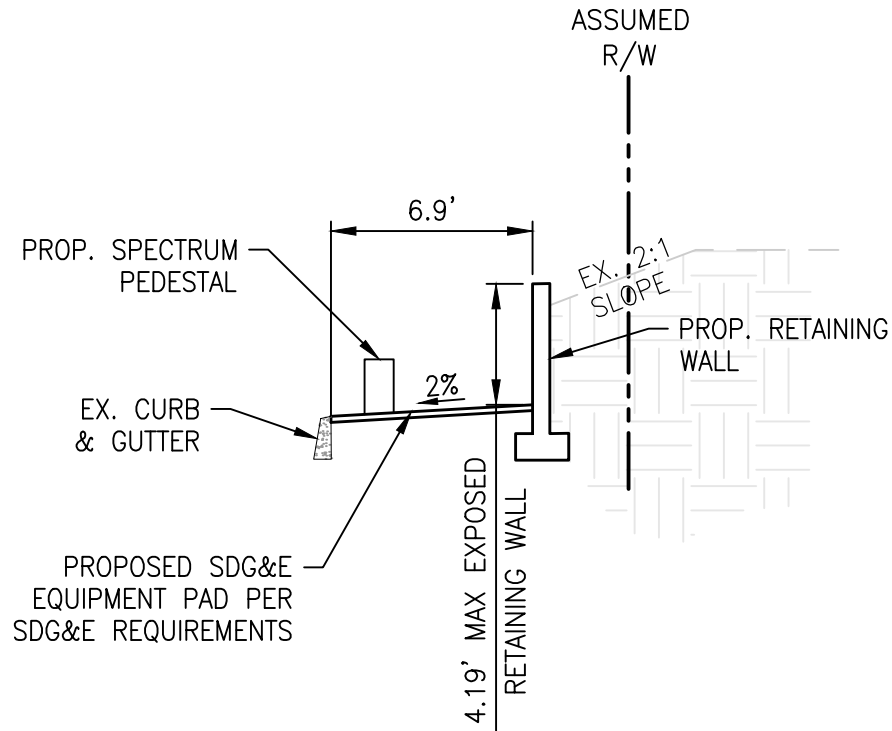


SCALE: 1" = 10'

SHEET 1 OF 4

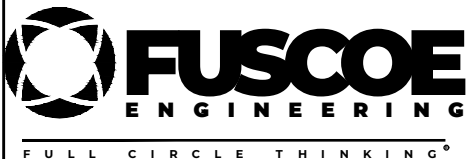
RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (SOUTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



SECTION C

NOT TO SCALE



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SHEET 2 OF 4

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (SOUTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

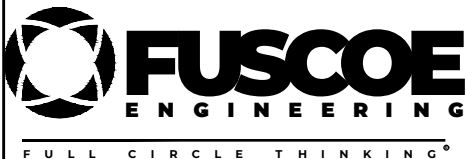
WALL MATERIAL: STONE VENEER - MOUNTAIN LION



SDG&E HANDHOLE



TYPICAL SPECTRUM/CROWN CASTLE HANDHOLE



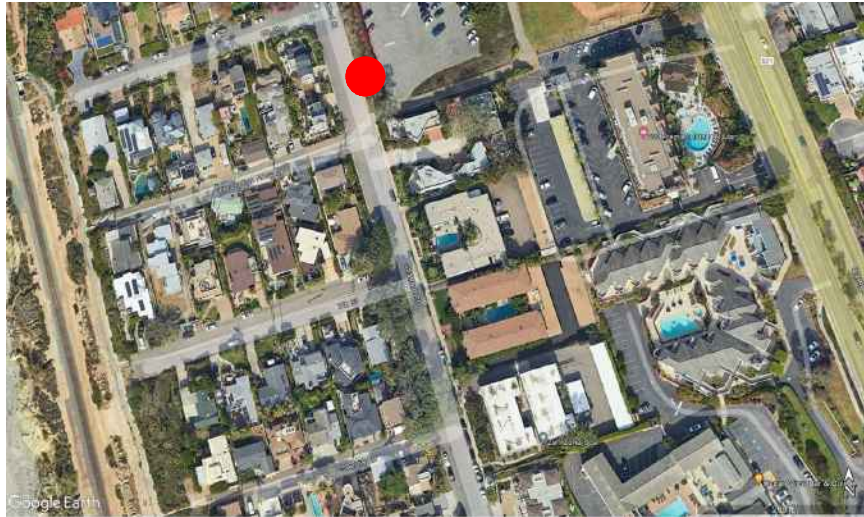
6390 Greenwich Dr 858.554.1500
Suite 170
San Diego, Ca 92122 fuscoe.com

SHEET 3 OF 4

C:\AUTODESK\AUTOSAVE\ACPUBLISH_2796\215 9TH ST (SOUTH) - RET WALL EXH.DWG (11-14-2023 12:40:56PM) Plotted by: jodams

RETAINING WALL PLAN

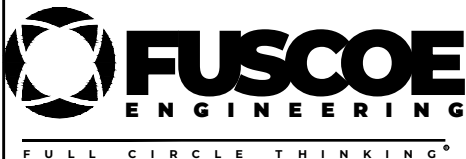
STRATFORD CT ROW ADJACENT TO 215 9TH ST (SOUTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



VICINITY MAP



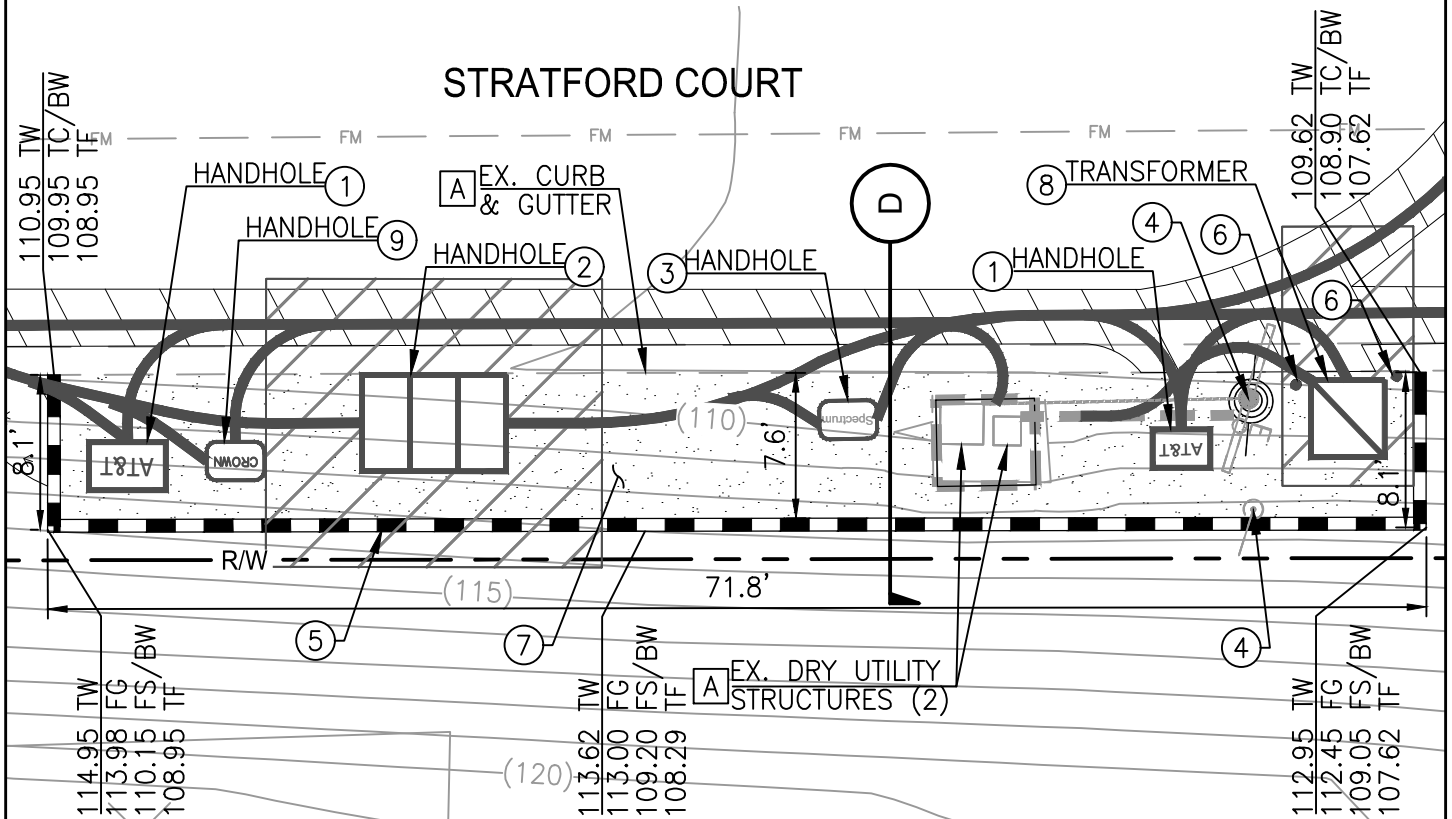
PROPOSED RETAINING
WALL LOCATION



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RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (NORTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



CONSTRUCTION NOTES:

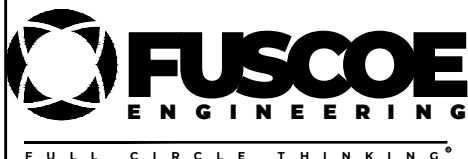
- ① ATT HANDHOLE
- ② SDG&E HANDHOLE
- ③ SPECTRUM DRY UTILITY STRUCTURE
- ④ EXISTING SDG&E POLE AND GUY WIRE TO BE REMOVED BY OTHERS
- ⑤ STONE VENEER MASONRY RETAINING WALL PER COUNTY OF SAN DIEGO REGIONAL STANDARDS. COLOR PER TECHNICAL PROVISIONS AND THE APPROVAL OF THE CITY REPRESENTATIVE.
- ⑥ BOLLARDS PER SDRSD WM-04
- ⑦ DECOMPOSED GRANITE SURFACING WITHIN WALL AROUND EQUIPMENT
- ⑧ SDG&E TRANSFORMER PAD
- ⑨ CROWN CASTLE DRY UTILITY STRUCTURE
- [A] PROTECT IN PLACE

GENERAL NOTES:

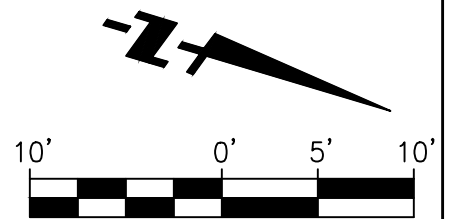
MAX. EXPOSED WALL HEIGHT: 4.8'
HYDROSEED AROUND WALL EXCAVATION AS NEEDED PER TECHNICAL PROVISIONS

EARTHWORK QUANTITIES:

MAX. EXISTING SLOPE: 2:1
MAX. VERTICAL CUT: 3.8'
CUT = 1,115 CF
FILL = 0 CF
EXPORT = 1,115 CF OR 41.3 CY



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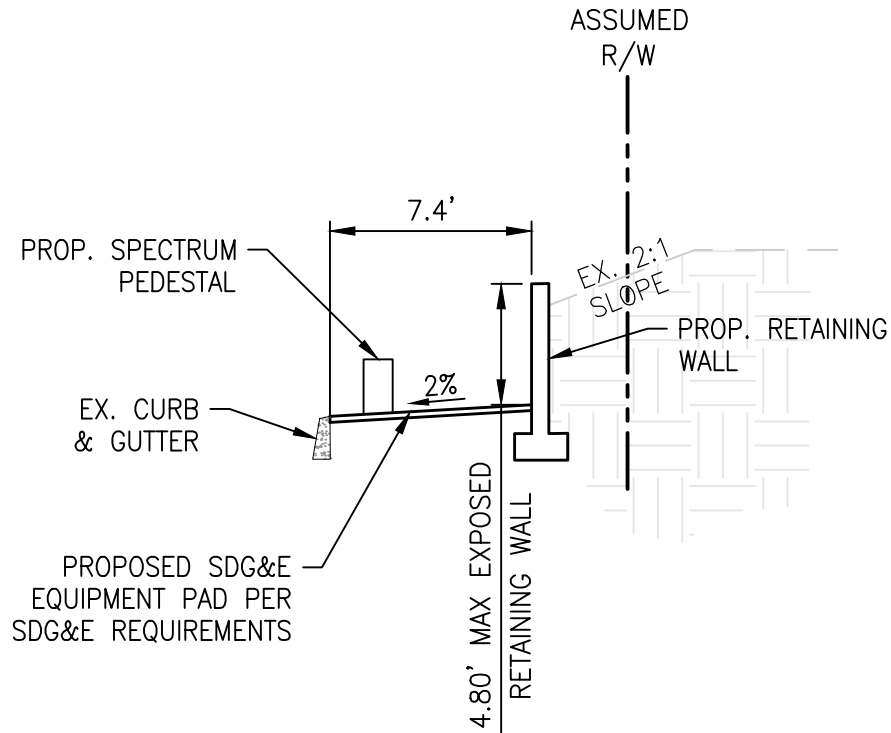


SHEET 1 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\215 9TH ST (NORTH) - RET WALL EXH.DWG (11-14-2023 10:07:24AM) Plotted by: jodams

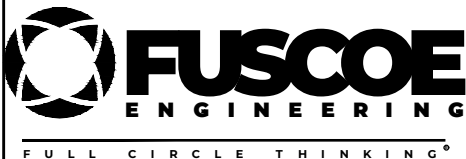
RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (NORTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



SECTION D

NOT TO SCALE



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SHEET 2 OF 4

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 215 9TH ST (NORTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

WALL MATERIAL: STONE VENEER - MOUNTAIN LION



SDG&E HANDHOLE



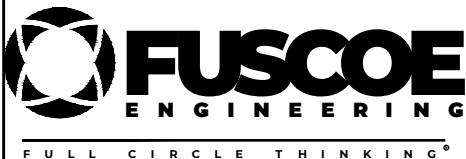
AT&T HANDHOLE



SDG&E TRANSFORMER



TYPICAL SPECTRUM/CROWN CASTLE HANDHOLE



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SHEET 3 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\215 9TH ST (NORTH) - RET WALL EXH.DWG (11-14-2023 10:07:25AM) Plotted by: jodams

RETAINING WALL PLAN

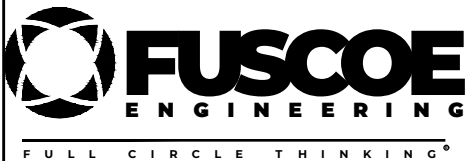
STRATFORD CT ROW ADJACENT TO 215 9TH ST (NORTH)
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



VICINITY MAP



PROPOSED RETAINING
WALL LOCATION



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Suite 170
San Diego, Ca 92122

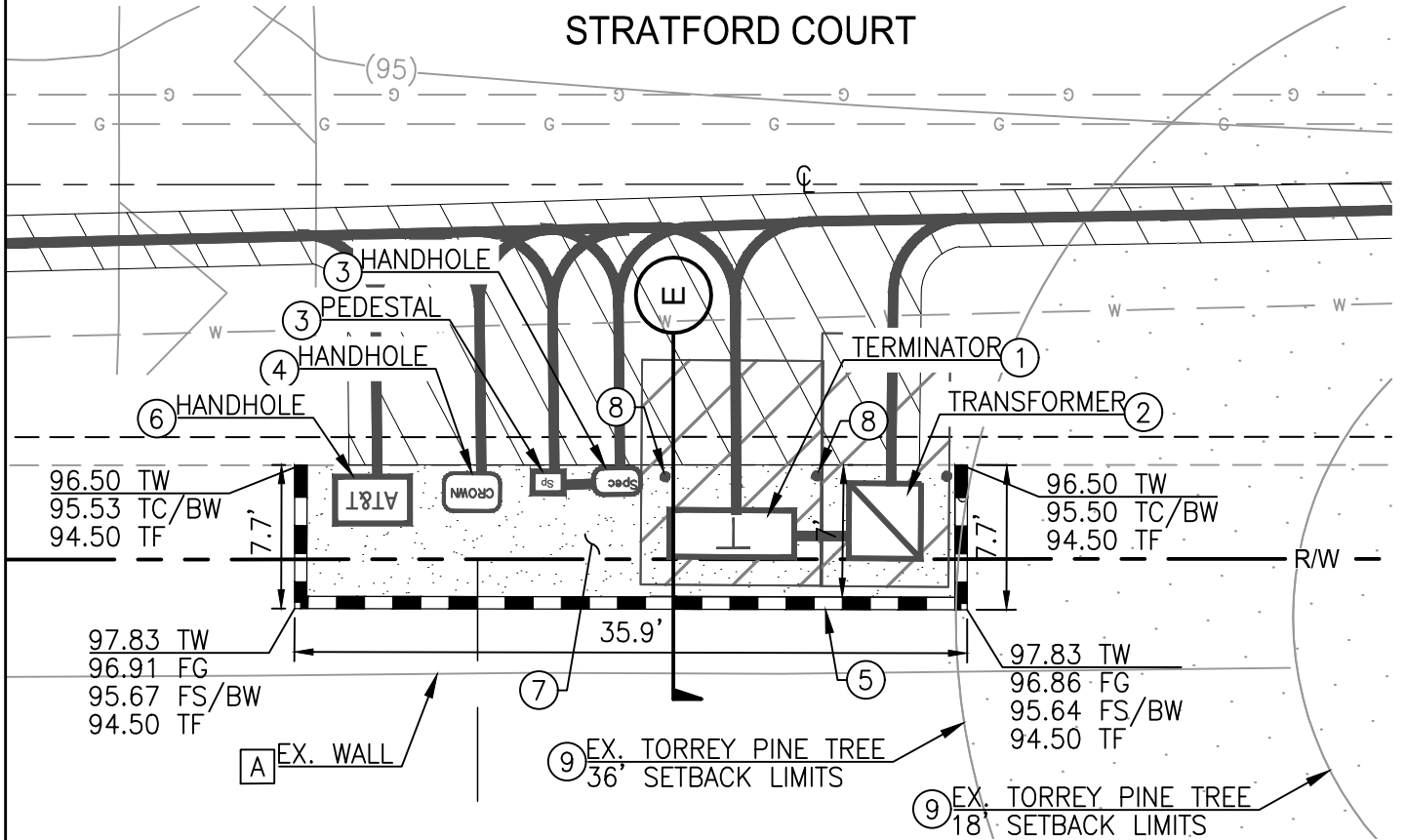
858.554.1500
fuscoe.com

SHEET 4 OF 4

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 1105 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

STRATFORD COURT



CONSTRUCTION NOTES:

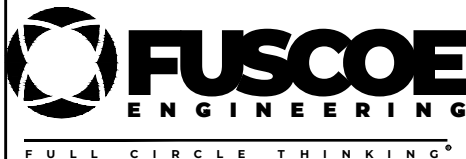
- ① SDG&E TERMINATOR PAD
- ② SDG&E TRANSFORMER PAD
- ③ SPECTRUM DRY UTILITY STRUCTURE
- ④ CROWN CASTLE DRY UTILITY STRUCTURE
- ⑤ STONE VENEER MASONRY RETAINING WALL PER COUNTY OF SAN DIEGO REGIONAL STANDARDS. COLOR PER TECHNICAL PROVISIONS AND THE APPROVAL OF THE CITY REPRESENTATIVE.
- ⑥ ATT HANDHOLE
- ⑦ DECOMPOSED GRANITE SURFACING WITHIN WALL AROUND EQUIPMENT
- ⑧ BOLLARDS PER SDRSD WM-04
- ⑨ EXISTING TORREY PINE TREE TO REMAIN AND PROTECT IN PLACE, SEE PLAN FOR INFORMATION
- [A] PROTECT IN PLACE

GENERAL NOTES:

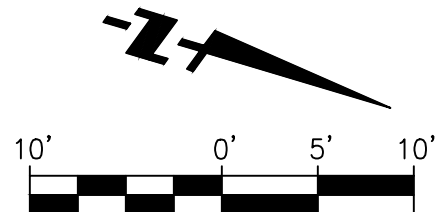
MAX. EXPOSED WALL HEIGHT: 2.2'
HYDROSEED AROUND WALL EXCAVATION AS NEEDED PER TECHNICAL PROVISIONS

EARTHWORK QUANTITIES:

MAX. EXISTING SLOPE: 10.5:1
MAX. VERTICAL CUT: 1.2'
CUT = 175 CF
FILL = 0 CF
EXPORT = 175 CF OR 6.5 CY



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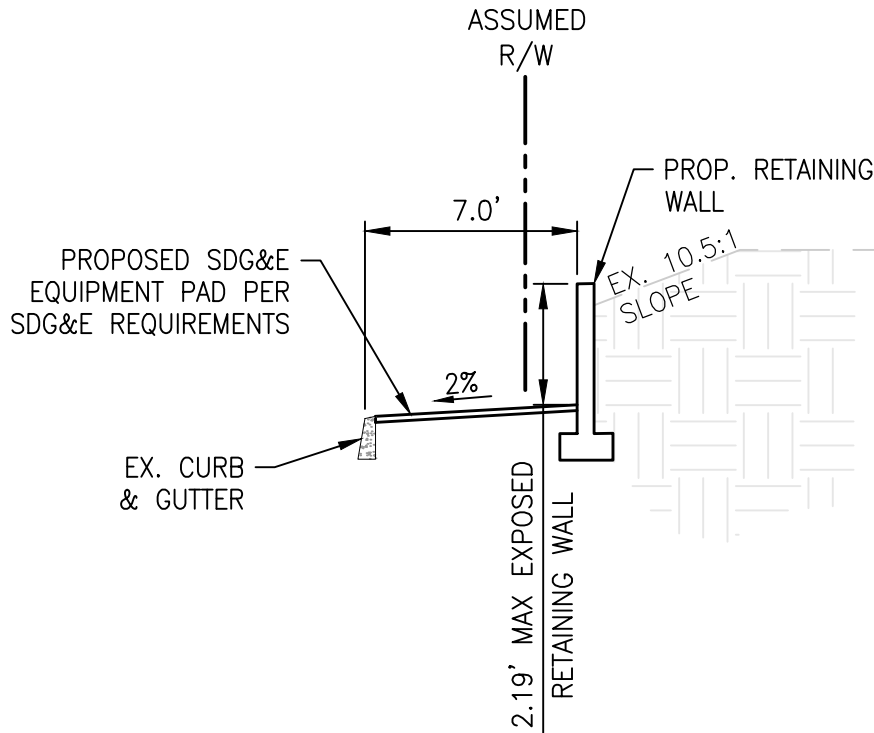
SCALE: 1" = 10'

SHEET 1 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\1105 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:09:50AM) Plotted by: jodams

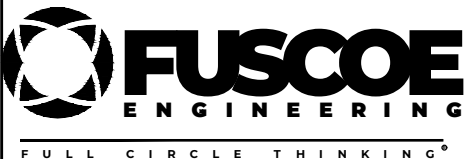
RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 1105 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



SECTION E

NOT TO SCALE



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SHEET 2 OF 4

RETAINING WALL PLAN

STRATFORD CT ROW ADJACENT TO 1105 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN

WALL MATERIAL: STONE VENEER - MOUNTAIN LION



SDG&E TRANSFORMER



SDG&E TERMINATOR



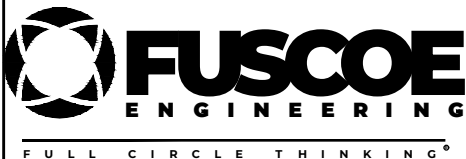
SPECTRUM/CROWN CASTLE TYPICAL HANDHOLE



AT&T 2'X3' HANDHOLE



SPECTRUM/CROWN CASTLE STRUCTURE 24" HIGH



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SHEET 3 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\1105 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:09:50AM) Plotted by: jodams

RETAINING WALL PLAN

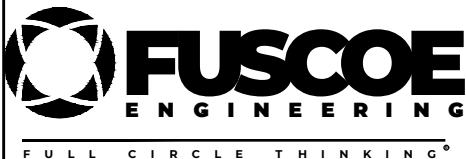
STRATFORD CT ROW ADJACENT TO 1105 STRATFORD CT
DISTRICT 1A CONVERSION IMPROVEMENT PLAN



VICINITY MAP



PROPOSED RETAINING
WALL LOCATION



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SHEET 4 OF 4

F:\PROJECTS\4048\002\EXHIBITS\1A RETAINING WALL EXHIBITS\1105 STRATFORD CT - RET WALL EXH.DWG (11-14-2023 10:09:51AM) Plotted by: jodams

City of Del Mar Utility Undergrounding Tree Protection Project

SUBMITTED TO:

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AUGUST 12, 2021



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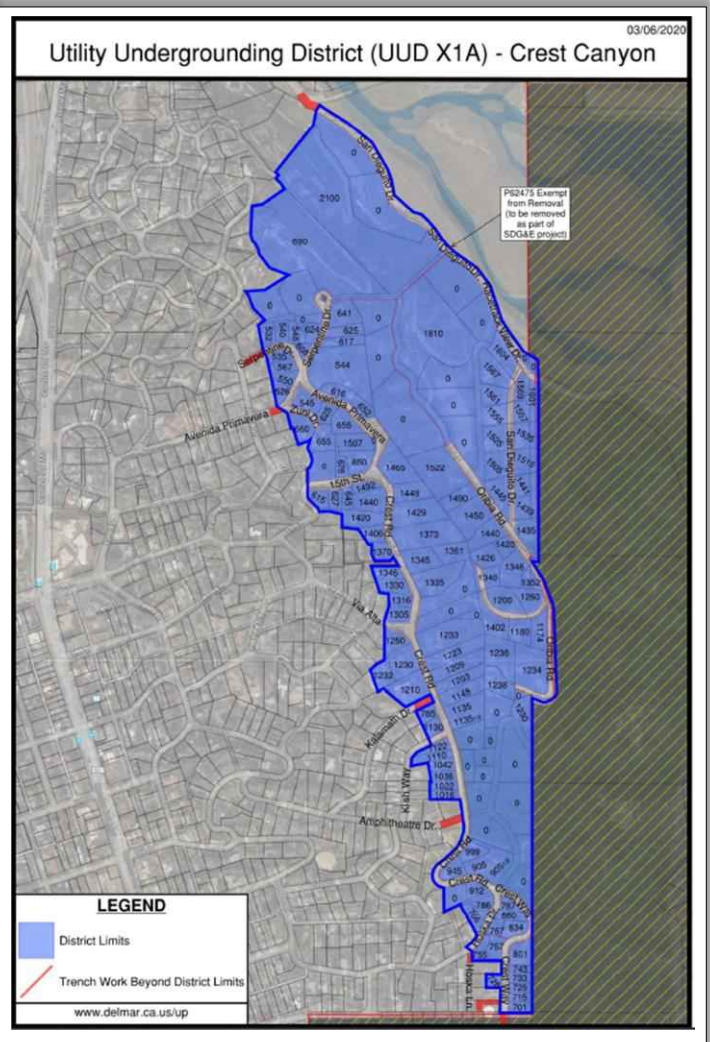
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BACKGROUND AND ASSIGNMENT

In June of 2021, West Coast Arborists, Inc. (WCA) was contacted by the City of Del Mar regarding a tree protection zone (TPZ) report for a utility undergrounding project. The scope of the work was identified as such: Tree Protection Zone Report for protected tree species (Torrey Pines and Monterey Cypress). Identify the location of all protected and unprotected city trees within the project street right-of-way construction zone. Identify the location of protected and unprotected private property trees within the project street right-of-way construction zone. Provide a general recommendation of trench offset distance from priority tree trunks to minimize damage to tree roots during trench excavation operations, based on best management practices (BMPs) guidelines. Shown below are the two areas WCA was asked to include in this report.





OBSERVATIONS

ISA Certified Arborist for WCA (Michael Young) visually inspected trees within the specified areas between 08/04/2021 and 08/11/2021 documenting the location and approximate trunk diameters of protected species (Torrey pine and Monterey cypress) likely to be impacted. All other data was derived from WCA's existing tree inventory database for the City of Del Mar. Based on the data collection and the ISA's best management practices, there were 532 trees identified as being at risk of experiencing notable impacts to their health and stability as a direct result of the proposed utility undergrounding project. Of these 532 trees, 169 trees were protected species and 270 trees were identified as being on private property.

DISCUSSION

Below is a list of topics and discussions relating to the preservation of the subject trees. For diagrams relating to the tree protection plan, refer to photos in Appendix A & B.

Root Biology & Root Pruning – The vast majority of tree roots grow growing laterally near the top 18 inches of soil and can grow outward distances of 2-3 times the radius of the crown or more. This means that the proposed trenching is very likely to result in root pruning/damages. Root pruning is an injurious practice that can significantly damage trees and affect their structural strength and health. For these reasons, it is not recommended to perform root pruning any more than absolutely necessary around the tree. Linear root pruning cuts on one side of a tree will likely reduce stability when the cut is made at a distance from the trunk that is less than three times the trunk diameter¹.

Construction Work – Because trees are unique living organisms, the impacts of the construction work could vary drastically and take five years or more to show any symptoms. Some construction activities that can damage or kill trees include root cutting/tearing during trenching, adding fill soil over roots, altering water drainage patterns, soil compaction, mechanical injuries from equipment, heat damage from exhaust, and chemical damage from contamination/ runoff onto the trees or soil. Conscious efforts should be made to mitigate these damages.

Tree Protection Zone (TPZ) - It is important to establish a TPZ around trees during construction to protect the tree's roots and surrounding soils from damages. WCA recommends installing a 4-6-foot-tall stable fence at or beyond the tree's **drip line** or a radius from the trunk of 1 foot per DSH inch to keep equipment, tools, soil, etc. out of the TPZ (refer to Appendix B). This TPZ should be clearly marked with signs stating that the area within is a TPZ and no one is allowed to disturb it. Irrigation should be provided within the entire TPZ throughout construction to maintain adequate soil moisture levels. Root pruning or any soil disturbances performed within the TPZ areas should be done under the supervision and at the direction of a certified arborist.

¹ This statement is not meant to "ok" linear root pruning cuts at or beyond three times a tree's trunk diameter.

Equipment Mitigation Strategies – In order to reduce soil compaction and tearing/ crushing of roots, driving equipment near trees (in TPZ if hardscapes are removed) should always be avoided when possible. Driving over soil with excessive turning or when soil is wet can be especially damaging. If it is necessary for specific tasks, it is recommended to add a 4-inch layer of mulch with ¾” plywood on top of any softscaping.

GENERAL MANAGEMENT RECOMMENDATIONS

Considering the likely health and stability impacts on private and publicly owned adjacent trees, WCA has the following general management recommendations to consider²:

1. If logistically and fiscally reasonable, horizontal directional drilling (HDD) would likely be the best choice to mitigate impacts to tree health. Conduit for utilities should be installed to a minimum depth of 3-4 feet below grade to reduce the likelihood of severing structurally important roots (see Appendix C for examples). Entry and exit points for boring as well as materials/equipment should be placed outside of any tree canopy **driplines** throughout the construction process.
2. Move the proposed utility location as far away from trees as possible and install/manage a modified tree protection zone on the tree side of the trenching (see page 4 for details). In order to reduce tearing of roots, it is recommended to use a root pruner such as DOSKO or Vermeer to outline the trenches prior to excavation (at least 18 inches deep). Exposed roots with diameters larger than 1 inch should have final pruning cuts with sharp clean tools after the trenching if substandard injuries are encountered. If roots are to be uncovered for longer than 5 hours, they should be covered with mulch, soil, or moist burlap to help prevent desiccation and sun scald injuries. If the designated trenching location falls within the designated **critical root zone (CRZ)** of the tree (six times trunk diameter away from the trunk) then the trench should be carefully excavated with an **airspade** or hand tools to expose the tree roots. An ISA certified arborist should be present to perform or direct this excavation to determine if root pruning without significant impacts on tree health and stability is even possible. If possible, then the project arborist(s) should perform or direct this root pruning. If root pruning is not possible within these guidelines, then removal and replacement of the tree should be considered on a case-by-case basis.

² Due to the numerous variables and conditions that may be encountered, these general guidelines can be modified at the discretion of the project arborist(s) as is seen fit.

APPENDIX A – PHOTOS

Photo #1 **Stratford Court South Protected Tree Map**



The image above shows the 36 protected tree sites identified in the Stratford court area with their associated trunk diameter in inches. The general tree protection zone for these trees should be to the edge of each tree’s dripline or one foot radius away from the trunk for every inch trunk diameter (whichever is further). A general critical root zone for each tree has been determined to be a radius of 6 times the trunk diameter away from the trunk.



APPENDIX A – PHOTOS

Photo #2 Stratford Court South Protected Tree Chart

#		Side Type	Tree #	On Address	Common Name	DSH	Height
1		FRONT YARD	1	159 10TH ST	TORREY PINE	36	30-45
2		FRONT YARD	1	227 10TH ST	MONTEREY CYPRESS	31	30-45
3		FRONT YARD	1	231 10TH ST	MONTEREY CYPRESS	39	30-45
4		Front	1	140 11TH ST	TORREY PINE	42	45-60
5		Front	1	127 6TH ST	TORREY PINE	39	45-60
6		FRONT YARD	1	149 6TH ST	TORREY PINE	29	30-45
7		FRONT YARD	1	110 7TH ST	TORREY PINE	37	15-30
8	X	SIDE	3	650 STRATFORD CT	TORREY PINE	67	30-45
9		FRONT YARD	1	135 9TH ST	MONTEREY CYPRESS	26	30-45
10		FRONT YARD	2	135 9TH ST	MONTEREY CYPRESS	49	30-45
11		FRONT YARD	1	157 9TH ST	MONTEREY CYPRESS	15	15-30
12		FRONT YARD	2	157 9TH ST	MONTEREY CYPRESS	37	30-45
13	X	Side	1	750 CAMINO DEL MAR	TORREY PINE	23	45-60
14	X	Median	4	500 CAMINO DEL MAR	TORREY PINE	22	45-60
15	X	Median	5	500 CAMINO DEL MAR	TORREY PINE	23	45-60
16	X	Median	6	500 CAMINO DEL MAR	TORREY PINE	21	45-60
17	X	Median	7	500 CAMINO DEL MAR	TORREY PINE	19	45-60
18	X	Median	8	500 CAMINO DEL MAR	TORREY PINE	26	45-60
19	X	Median	9	500 CAMINO DEL MAR	TORREY PINE	14	45-60
20	X	Median	10	500 CAMINO DEL MAR	TORREY PINE	16	45-60
21	X	Median	11	500 CAMINO DEL MAR	TORREY PINE	12	30-45
22	X	Median	12	500 CAMINO DEL MAR	TORREY PINE	15	45-60
23	X	Median	13	500 CAMINO DEL MAR	TORREY PINE	15	45-60
24	X	Median	14	500 CAMINO DEL MAR	TORREY PINE	22	45-60
25		FRONT YARD	1	101 PENNY LN	MONTEREY CYPRESS	28	30-45
26		FRONT YARD	1	210 SEA ORBIT LN	TORREY PINE	36	45-60
27	X	Side	1	640 STRATFORD CT	TORREY PINE	24	30-45
28	X	Side	2	640 STRATFORD CT	TORREY PINE	40	30-45

Rows marked with green indicate trees noted as being on private property.



APPENDIX A – PHOTOS

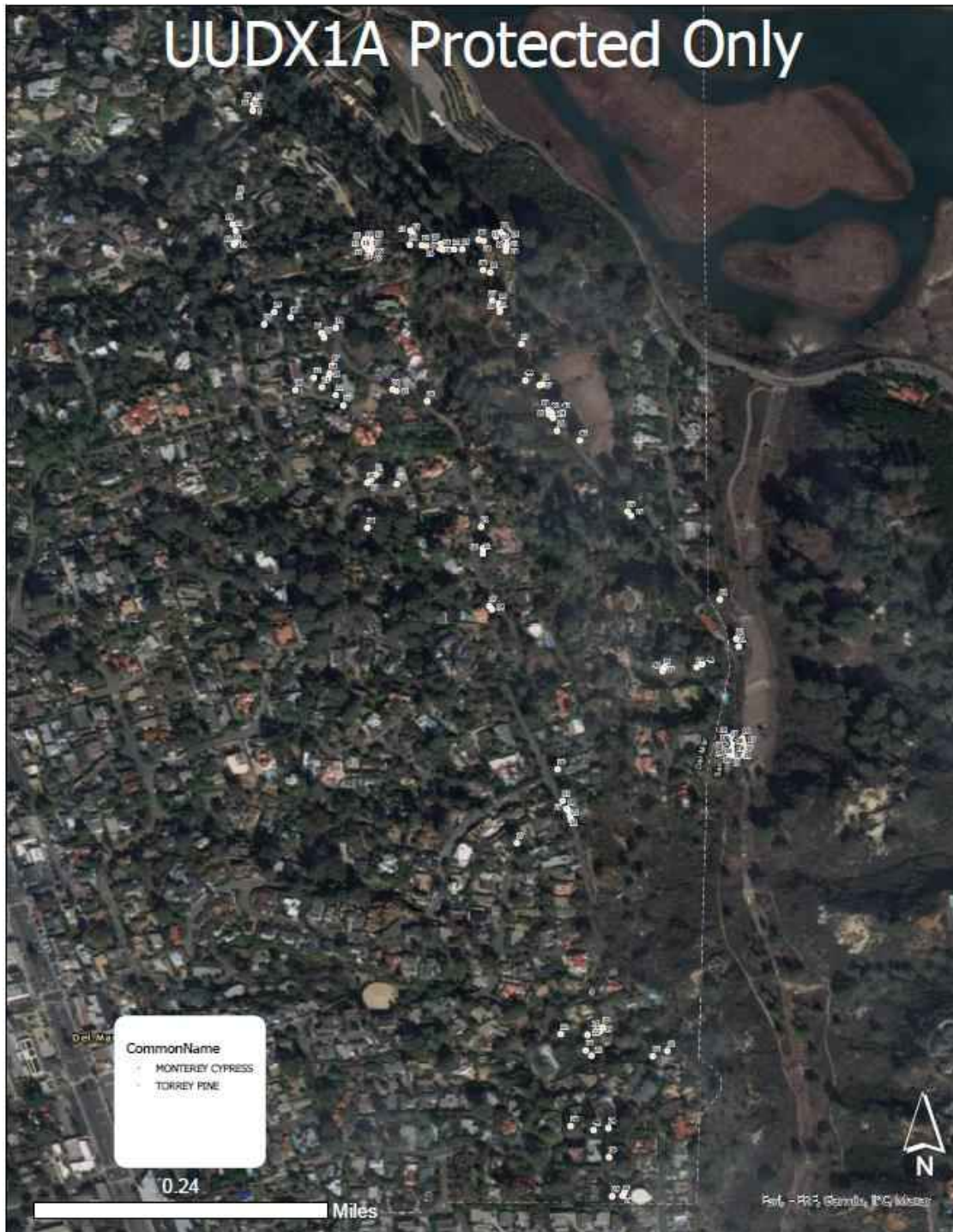
Photo #3 Stratford Court South Protected Tree Chart

#		Side Type	Tree #	On Address	Common Name	DSH	Height
29	X	FRONT	1	122 SHIPPEY LN	MONTEREY CYPRESS	38	15-30
30		Front	1	402 STRATFORD CT	TORREY PINE	38	30-45
31		Front	1	410 STRATFORD CT	TORREY PINE	38	30-45
32		Front	1	412 STRATFORD CT	TORREY PINE	38	30-45
33	X	Side	1	150 SHIPPEY LN	TORREY PINE	45	45-60
34		FRONT YARD	1	905 STRATFORD CT	TORREY PINE	51	30-45
35		FRONT YARD	1	1050 STRATFORD CT	TORREY PINE	23	30-45
36		FRONT YARD	1	1145 STRATFORD CT	TORREY PINE	42	45-60

APPENDIX A – PHOTOS

Photo #4

Crest Canyon Protected Tree Map



The image above shows the 133 protected tree sites identified in the Crest Canyon area with their associated trunk diameter in inches. The general tree protection zone for these trees should be to the edge of each tree’s dripline or one foot radius away from the trunk for every inch trunk diameter (whichever is further). A general critical root zone for each tree has been determined to be a radius of 6 times the trunk diameter away from the trunk.



APPENDIX A – PHOTOS

Photo #5 Crest Canyon Protected Tree Chart

#	Side Type	Tree #	On Address	Common Name	DSH	Height
1	Monolithic		589 15TH ST	TORREY PINE	34	30-45
2	Monolithic		628 15TH ST	TORREY PINE	23	15-30
3	Unimproved		526 AVENIDA PRIMAVERA	TORREY PINE	32	30-45
4	Monolithic		526 AVENIDA PRIMAVERA	MONTEREY CYPRESS	26	30-45
5	Unimproved		545 AVENIDA PRIMAVERA	TORREY PINE	17	15-30
6	Monolithic		545 AVENIDA PRIMAVERA	TORREY PINE	14	15-30
7	Monolithic		545 AVENIDA PRIMAVERA	TORREY PINE	18	30-45
8	Monolithic		545 AVENIDA PRIMAVERA	TORREY PINE	21	30-45
9	Monolithic		545 AVENIDA PRIMAVERA	MONTEREY CYPRESS	22	30-45
10	Monolithic		652 AVENIDA PRIMAVERA	TORREY PINE	26	30-45
11	Monolithic		652 AVENIDA PRIMAVERA	TORREY PINE	21	15-30
12	Monolithic		652 AVENIDA PRIMAVERA	TORREY PINE	22	30-45
13	Unimproved		912 CREST RD	TORREY PINE	20	30-45
14	Unimproved		912 CREST RD	TORREY PINE	19	30-45
15	Unimproved	X	950 CREST RD	TORREY PINE	22	30-45
16	Unimproved		1135 CREST RD	MONTEREY CYPRESS	25	30-45
17	Unimproved		1135 CREST RD	MONTEREY CYPRESS	16	15-30
18	Unimproved		1135 CREST RD	MONTEREY CYPRESS	18	15-30
19	Unimproved		1135 CREST RD	MONTEREY CYPRESS	19	15-30
20	Unimproved		1135 CREST RD	MONTEREY CYPRESS	32	30-45
21	Monolithic		1203 CREST RD	TORREY PINE	26	30-45
22	Monolithic		1346 CREST RD	TORREY PINE	17	30-45
23	Monolithic		1346 CREST RD	TORREY PINE	14	30-45
24	Unimproved		1429 CREST RD	TORREY PINE	21	45-60
25	Monolithic		1429 CREST RD	TORREY PINE	12	30-45
26	Monolithic		1429 CREST RD	TORREY PINE	16	30-45
27	Unimproved	X	1900 ZAPO ST	MONTEREY CYPRESS	22	15-30
28	Unimproved	X	1900 ZAPO ST	MONTEREY CYPRESS	14	15-30

Rows marked with green indicate trees noted as being on private property.



APPENDIX A – PHOTOS

Photo #6		Crest Canyon Protected Tree Chart				
29	Unimproved	X	1900 ZAPO ST	MONTEREY CYPRESS	12	15-30
30	Unimproved	X	1900 ZAPO ST	MONTEREY CYPRESS	21	15-30
31	Unimproved	X	1900 ZAPO ST	TORREY PINE	19	15-30
32	Other	X	2 HIDDEN GULCH PATH	TORREY PINE	21	15-30
33	Other	X	2 HIDDEN GULCH PATH	TORREY PINE	22	30-45
34	Other	X	2 HIDDEN GULCH PATH	TORREY PINE	18	30-45
35	Other	X	2 HIDDEN GULCH PATH	TORREY PINE	23	30-45
36	Monolithic		730 HOSKA DR	TORREY PINE	24	30-45
37	Monolithic		735 HOSKA DR	TORREY PINE	48	45-60
38	Monolithic		749 HOSKA DR	TORREY PINE	18	30-45
39	Monolithic		755 HOSKA DR	TORREY PINE	24	30-45
40	Monolithic		787 HOSKA DR	MONTEREY CYPRESS	15	15-30
41	Monolithic		787 HOSKA DR	TORREY PINE	12	30-45
42	Other	X	2 HOSKA LN WATER TOWER	TORREY PINE	24	30-45
43	Other	X	2 HOSKA LN WATER TOWER	TORREY PINE	17	30-45
44	Other	X	2 HOSKA LN WATER TOWER	TORREY PINE	14	30-45
45	Monolithic		1115 KLISH WY	TORREY PINE	37	45-60
46	Monolithic		1200 ORIBIA RD	TORREY PINE	16	30-45
47	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
48	Monolithic		1234 ORIBIA RD	TORREY PINE	16	30-45
49	Monolithic		1234 ORIBIA RD	TORREY PINE	17	30-45
50	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
51	Monolithic		1234 ORIBIA RD	TORREY PINE	17	30-45
52	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
53	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
54	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
55	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
56	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
57	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45



APPENDIX A – PHOTOS

Photo #7		Crest Canyon Protected Tree Chart				
58	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
59	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
60	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
61	Monolithic		1234 ORIBIA RD	TORREY PINE	18	30-45
62	Monolithic		1236 ORIBIA RD	TORREY PINE	22	30-45
63	Monolithic		1236 ORIBIA RD	TORREY PINE	21	30-45
64	Monolithic		1260 ORIBIA RD	TORREY PINE	45	30-45
65	Monolithic		1260 ORIBIA RD	TORREY PINE	16	15-30
66	Monolithic		1260 ORIBIA RD	TORREY PINE	28	30-45
67	Monolithic		1260 ORIBIA RD	TORREY PINE	48	60+
68	Monolithic		1352 ORIBIA RD	TORREY PINE	51	45-60
69	Monolithic		1450 ORIBIA RD	TORREY PINE	39	45-60
70	Monolithic		1450 ORIBIA RD	TORREY PINE	16	30-45
71	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	45	45-60
72	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	34	45-60
73	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	30	45-60
74	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	26	45-60
75	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	21	45-60
76	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	19	45-60
77	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	18	45-60
78	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	20	45-60
79	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	30-45
80	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	36	45-60
81	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	12	30-45
82	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	30-45
83	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	45-60
84	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	14	45-60
85	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	15	45-60
86	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	10	30-45



APPENDIX A – PHOTOS

Photo #8 Crest Canyon Protected Tree Chart

87	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	11	30-45
88	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	21	45-60
89	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	18	45-60
90	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	30-45
91	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	42	45-60
92	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	24	30-45
93	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	11	30-45
94	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	11	30-45
95	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	19	30-45
96	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	18	30-45
97	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	17	30-45
98	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	44	45-60
99	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	37	45-60
100	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	21	30-45
101	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	30-45
102	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	16	30-45
103	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	27	45-60
104	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	11	30-45
105	Monolithic		1810 SAN DIEGUITO DR	TORREY PINE	38	45-60
106	Monolithic		2100 SAN DIEGUITO DR	TORREY PINE	16	30-45
107	Monolithic		2100 SAN DIEGUITO DR	TORREY PINE	15	30-45
108	Unimproved		450 SERPENTINE DR	MONTEREY CYPRESS	26	45-60
109	Monolithic		532 SERPENTINE DR	MONTEREY CYPRESS	29	30-45
110	Monolithic		535 SERPENTINE DR	MONTEREY CYPRESS	36	30-45
111	Monolithic		567 SERPENTINE DR	TORREY PINE	16	30-45
112	Monolithic		567 SERPENTINE DR	TORREY PINE	16	30-45
113	Monolithic		608 SERPENTINE DR	TORREY PINE	31	30-45
114	Monolithic		641 SERPENTINE DR	TORREY PINE	15	15-30
115	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45



APPENDIX A – PHOTOS

Photo #9		Crest Canyon Protected Tree Chart				
116	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
117	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
118	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
119	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
120	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
121	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
122	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
123	Monolithic		641 SERPENTINE DR	TORREY PINE	15	30-45
124	Unimproved		1986 ZAPO ST	TORREY PINE	10	30-45
125	Unimproved		1986 ZAPO ST	TORREY PINE	5	15-30
126	Unimproved		1986 ZAPO ST	TORREY PINE	16	30-45
127	Unimproved		1986 ZAPO ST	TORREY PINE	15	30-45
128	Unimproved		1986 ZAPO ST	TORREY PINE	19	30-45
129	Monolithic		660 ZUNI DR	MONTEREY CYPRESS	23	30-45
130	Other		2 ZUNI WATER TOWER	TORREY PINE	20	45-60
131	Other	X	2 ZUNI WATER TOWER	TORREY PINE	27	60+
132	Other	X	2 ZUNI WATER TOWER	TORREY PINE	31	60+
133	2	X	ZUNI WATER TOWER	TORREY PINE	3	2 ZUNI WATER TOWER

APPENDIX B – TREE PROTECTION PLAN

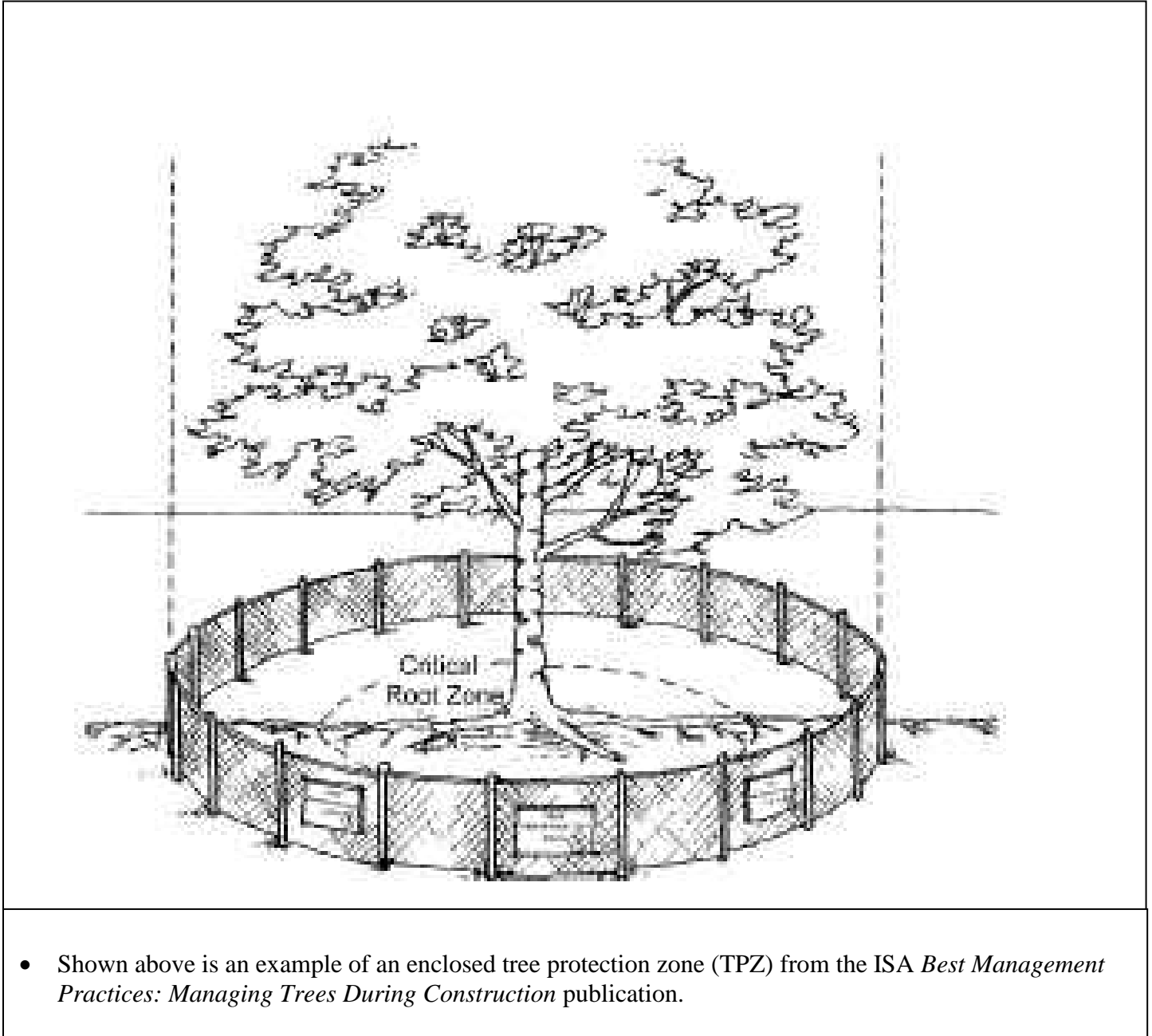
Example of Horizontal Directional Drilling



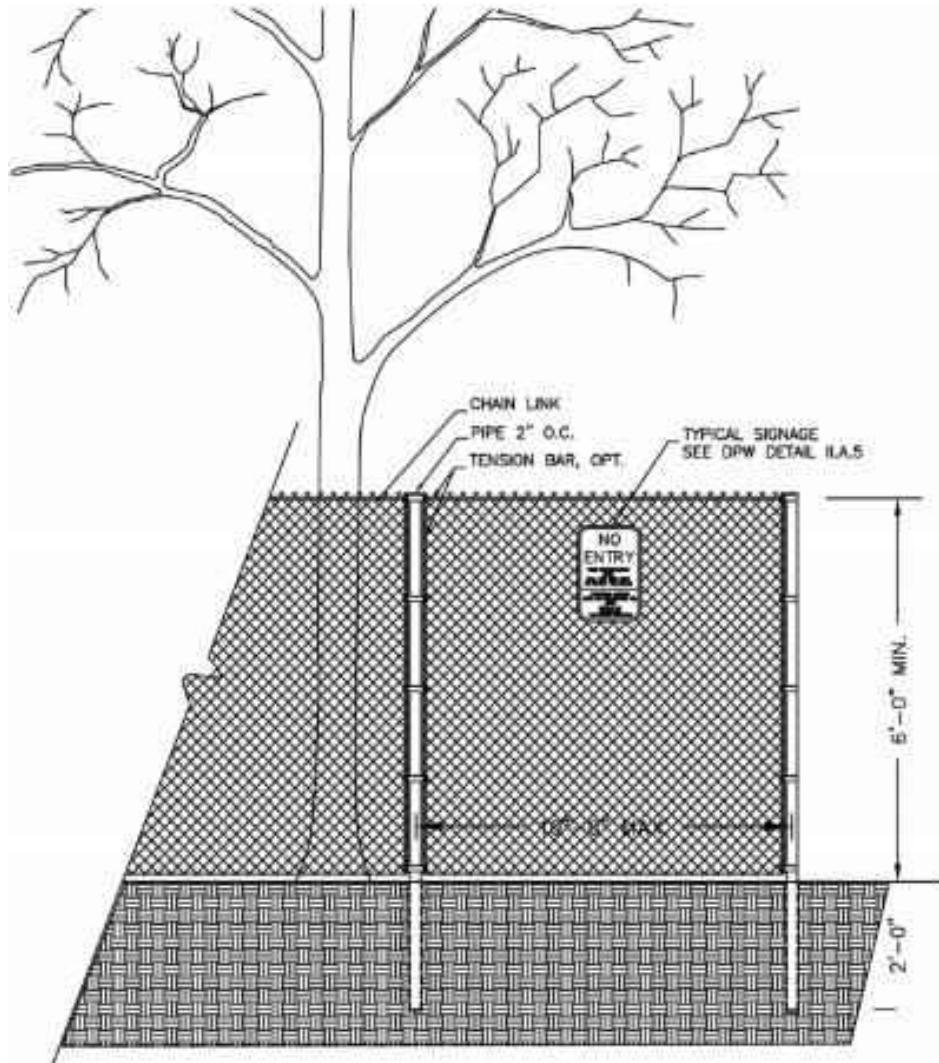
- | | |
|---|--|
| ① Directional Drill machine | ⑤ Pilot head drilling and pressing for direction |
| ② Rotating and pressing pipes | ⑥ Enlargement and pull-back with Reamer |
| ③ Pilot drill begins ground penetration | ⑦ Swivel attached to Reamer and Pipe |
| ④ Technician with locator receiver box | ⑧ Utility Pipe being Pulled Back |

Directional boring, also referred to as **horizontal directional drilling (HDD)**, is a minimal impact trenchless method of installing underground utilities such as pipe, conduit, or cables in a relatively shallow arc or radius along a prescribed underground path using a surface-launched drilling rig. Directional Boring/HDD offers significant environmental advantages over traditional cut and cover pipeline/utility installations. The technique is routinely used when conventional trenching or excavating is not practical or when minimal surface disturbance is required.

APPENDIX B – TREE PROTECTION PLAN



APPENDIX B – TREE PROTECTION PLAN



- Shown above is an example of tree protection zone fencing and signage.



ASSUMPTIONS AND LIMITING CONDITIONS

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the Consultant can neither guarantee nor be responsible for the accuracy of information provided by others. Standard of Care has been met with regards to this project within reasonable and normal conditions.
2. The Consultant will not be required to give testimony or to attend court by reason of this report unless subsequent contractual agreements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
3. Loss or alteration of any part of this report invalidates the entire report.
4. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written consent of the Consultant.
5. This report and any values expressed herein represent the opinion of the Consultant, and the Consultant's fee is in no way contingent upon the reporting of a stipulated result, a specified value, the occurrence of a subsequent event, nor upon any finding to be reported.
6. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, or coring, unless otherwise stated. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the tree(s) or property in question may not arise in the future.
7. Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. It is highly recommended that you follow the arborist recommendations; however, you may choose to accept or disregard the recommendations and/or seek additional advice.
8. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time.



9. Any recommendation and/or performed treatments (including, but not limited to, pruning or removal) of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, site lines, disputes between neighbors, and any other related issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist can then be expected to consider and reasonably rely on the completeness and accuracy of the information provided.
10. The author has no personal interest or bias with respect to the subject matter of this report or the parties involved. He/she has inspected the subject tree(s) and to the best of their knowledge and belief, all statements and information presented in the report are true and correct.
11. Unless otherwise stated, trees were examined using the risk assessment criteria detailed by the International Society of Arboriculture's publications *Best Management Practices – Tree Risk Assessment* and the *Tree Risk Assessment Manual*.



BIBLIOGRAPHY

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GLOSSARY

Air Spade – A specialist excavation tool that uses compressed air to remove and break up soil with minimal damage to roots and underground utilities. It can be used for a variety of reasons including the alleviation of compaction, soil improvement, root inspection and root location.

Best Management Practices (BMPs) – The International Society of Arboriculture has developed a series of Best Management Practices (BMPs) for the purpose of interpreting tree care standards and providing guidelines of practice for arborists, tree workers, and the people who employ their services.

Canopy – The part of the crown composed of leaves and small twigs (Harris, Clark, and Matheny 526).

Critical Root Zone (CRZ) – Area of soil around a tree trunk where roots are located that provide stability and uptake of water and minerals required for tree survival.

Crown – The leaves and branches of a tree measured from the lowest branch on the trunk to the top of the tree (Harris, Clark, and Matheny 527).

Drip line – The area defined by the outermost circumference of a tree canopy where water drips from and on to the ground.

UUDs 1A&X1A CITY CONSTRUCTION TIMING SUBCOMMITTEE REPORT TO UPAC

November 14, 2023

UPAC Subcommittee

Formed: February 16, 2023

Purpose: To evaluate and develop objective criteria and a recommendation for determining whether the City's construction activities for UUDs 1A and X1A should be done sequentially, concurrently, or *go-when-ready*.

Members: Tom McGreal
Amy Cheshire
Shirli Weiss

Scheduling Options for the City Construction Phase for UUDs 1A&X1A:

1. Sequential: City construction activities for UUD 1A proceed before UUD X1A city construction is started.
2. Concurrent: City construction activities proceed at the same time for both UUDs 1A & X1A.
3. Go-When-Ready: City construction activities proceed for UUDs 1A & X1A when each is ready for that phase.

Objective Criteria for Determining Best Approach to Scheduling the City Construction Phase for UUDs 1A&X1A:

1. Comparative Projected Timeframes for Projects
2. Benefits and Risks of Proceeding (Economic and Non-Economic)
3. Feasibility: Staff Workload Management and Third Parties (Utilities, Telecom, Laterals)
4. Community Impacts: Views, Property Values, Traffic Delays and Fire Safety

Statistics for Projects 1A and X1A

	1A	X1A
Linear Feet Overhead	7,650	11,200
Linear Feet Trench	9,135	14,363
Poles	56	77
Laterals	64	85
Properties	227	152
Residences	464	114
LF Trench / Residence	16.48	125.99
Cost*	\$5.36 million	\$8.05 million
Cost / LF Overhead	\$701	\$719
Cost / LF Joint Trench	\$587	\$560

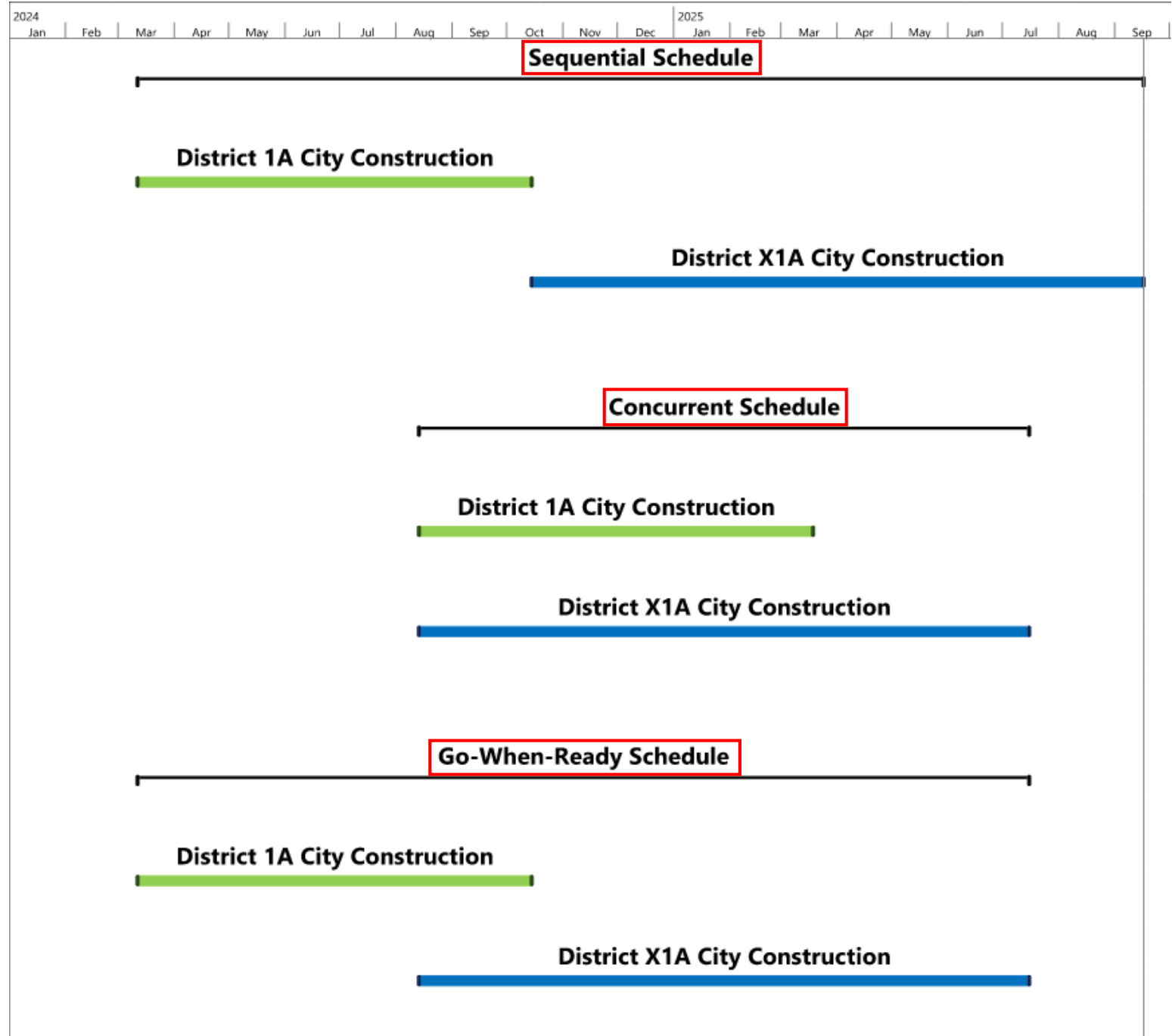
*Costs are estimated for 1A & X1A, and final for Tewa. Final amount for 1A & X1A will be determined via City bid process.

Undergrounding Timeline

	1A	1A	1A	X1A	X1A	X1A
	Sequential	Concurrent	Go-When-Ready	Sequential	Concurrent	Go-When-Ready
Civil Design Completion	12/23	12/23	12/23	5/24	5/24	5/24
Start of City Construction	3/24	8/24	3/24	10/24	8/24	8/24
End of City Construction	10/24	3/25	10/24	9/25	7/25	7/25
Utility Completion	3/25	8/25	3/25	4/26	2/26	2/26

*Schedule as of 10/30/2023. The schedule is not fixed and is liable to change contingent on many factors.

Undergrounding Timeline for City Construction



Application of Objective Criterion No. 1 to City Construction Phase: Projected Timeframes

- Concurrent Schedule delays 1A by 5 months
- Sequential Schedule delays X1A by 2 months
- Go When Ready Schedule causes no delays

	1A	1A	1A	X1A	X1A	X1A
	Sequential	Concurrent	Go-When-Ready	Sequential	Concurrent	Go-When-Ready
Civil Design Completion	12/23	12/23	12/23	5/24	5/24	5/24
Start of City Construction	3/24	8/24	3/24	10/24	8/24	8/24
End of City Construction	10/24	3/25	10/24	9/25	7/25	7/25
Utility Completion	3/25	8/25	3/25	4/26	2/26	2/26

Application of Objective Criterion No. 2 to City Construction Phase: Potential Benefits & Risks of Concurrent Scheduling

Cost Savings:

- Concurrent bids for 1A & X1A create a very large scale project that could produce cost savings. At the same time, the large project size may also reduce number of qualified bidders, which could reduce competition and limit potential savings.
- The extent of possible savings is highly uncertain at this point. Actual construction costs will only be determined through the competitive public bidding process.
- Savings could also be realized if a successful bidder finds efficiencies in repeat business with Del Mar.
- **Workarounds:** With a *concurrent* schedule, a delay at one job site could translate into accelerated work at the other job site, assuming that resources can be transferred. A *sequential* or *go-when-ready* schedule with two contractors does not allow for transfer of resources.
- **Risks to schedule:** Issues or problems with a single contractor could impact both projects in a *concurrent* schedule.

Application of Objective Criterion No. 3. to City Construction Phase: Feasibility: Staff Workload Management and Third Parties (Utilities, Telecom, Laterals)

- Staff's preference is to work with only one contractor at a time (*concurrent or sequential*).
- A go-when-ready approach requires oversight of two projects potentially with two contractors for the two-month period while project overlap occurs. Ultimately the timeline benefit of proceeding on a go-when-ready basis is sufficiently beneficial to justify the additional staff work.
- Both SDG&E and Telecom indicate but do not promise capacity to conduct two construction projects *concurrently or go-when-ready*.

Application of Objective Criterion No. 4 to City Construction Phase: Community Impacts

- **View/Property Value:** With the *concurrent* schedule, 464 residences in UUD 1A will have the completion of their project DELAYED by 5 months and 114 residences in UUD X1A will have the completion of their project ACCELERATED by 2 months. So, the *concurrent* schedule will cause an estimated NET DELAY of $(464 \times 5) - (114 \times 2) = 2320 - 228 = 2092$ residence months.
- **Traffic:** City Staff believes that the number of days that traffic will be impacted by construction in UUD 1A and UUD X1A will not be affected by the choice of a *concurrent, sequential, or go-when-ready* schedule.
- **Fire Safety:** There does not appear to be a significant fire safety benefit from choosing between the *concurrent, sequential, or go-when-ready* schedules because we will NOT avoid another fire season if we complete UUD X1A in February 2026 instead of April 2026. (Note: the projected schedule for earliest completion of X1A has already slipped from early 2025 to early 2026 since UUD X1A was formed on 12 Jul 2021. Additional delays could push completion of X1A into another fire season.)

Recommendation

Staff and the Subcommittee recommend the City proceed with City Construction for UUDs 1A & X1A on a *go-when-ready* schedule. This schedule optimizes the timing for both projects, and there are limited expected drawbacks to proceeding based on the objective criteria.

ID	Task Name	Start	Finish	2023				2024				2025				2026			
				Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
1	UUD 1A	Mon 10/11/21	Mon 3/10/25	[Green bar spanning from Q1 2023 to Q1 2025]															
2	1A SDGE Prelim Design	Mon 10/11/21	Fri 4/7/23	[Green bar from Q1 2023 to Q2 2023]															
3	1A Utility & Civil Design	Fri 4/7/23	Mon 12/4/23	[Green bar from Q2 2023 to Q4 2023]															
4	1A Bidding & Contracting	Mon 11/13/23	Mon 3/11/24	[Green bar from Q4 2023 to Q1 2024]															
5	1A Construction	Tue 3/12/24	Mon 3/10/25	[Green bar from Q1 2024 to Q1 2025]															
6	1A City Construction	Tue 3/12/24	Mon 10/14/24	[Green bar from Q1 2024 to Q3 2024]															
7	1A Utility Construction	Tue 7/16/24	Mon 3/10/25	[Green bar from Q3 2024 to Q1 2025]															
8	UUD X1A	Mon 10/11/21	Tue 2/10/26	[Blue bar spanning from Q1 2023 to Q4 2026]															
9	X1A SDGE Prelim Design	Mon 10/11/21	Tue 6/27/23	[Blue bar from Q1 2023 to Q2 2023]															
10	X1A Utility & Civil Design	Tue 6/27/23	Mon 5/6/24	[Blue bar from Q2 2023 to Q2 2024]															
11	X1A Bidding & Contracting	Wed 4/3/24	Tue 8/13/24	[Blue bar from Q2 2024 to Q3 2024]															
12	X1A Construction	Wed 8/14/24	Tue 2/10/26	[Blue bar from Q3 2024 to Q4 2026]															
13	X1A City Construction	Wed 8/14/24	Tue 7/15/25	[Blue bar from Q3 2024 to Q3 2025]															
14	X1A Utility Construction	Wed 3/12/25	Tue 2/10/26	[Blue bar from Q4 2024 to Q4 2026]															
15	UUD 1B	Mon 5/15/23	Mon 12/7/26	[Cyan bar spanning from Q2 2023 to Q4 2026]															
16	1B District Formation	Mon 5/15/23	Mon 10/16/23	[Cyan bar from Q2 2023 to Q3 2023]															
17	1B SDGE Prelim Design (15 Months)	Mon 10/16/23	Mon 1/6/25	[Cyan bar from Q4 2023 to Q2 2024]															
18	1B Utility & Civil Design (9 Months)	Tue 1/7/25	Mon 10/20/25	[Cyan bar from Q1 2025 to Q3 2025]															
19	1B Bidding & Contracting (3 Months)	Tue 10/7/25	Tue 1/27/26	[Cyan bar from Q4 2025 to Q1 2026]															
20	1B Construction (12 Months)	Wed 1/28/26	Mon 12/7/26	[Cyan bar from Q1 2026 to Q4 2026]															
21	1B City Construction	Wed 1/28/26	Tue 7/7/26	[Cyan bar from Q1 2026 to Q2 2026]															
22	1B Utility Construction	Wed 6/10/26	Mon 12/7/26	[Cyan bar from Q2 2026 to Q4 2026]															

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- Was the detail from 7-6-2023 CIP budget update made publicly available at the time? Or is this information being made public only now?
- The cost estimate of utility companies declined by \$700,000 from \$1,867,771 in 2021 to \$1,168,794 in 2023.
- Construction phase cost estimates more than tripled from \$1,130,275 in 2021 to \$3,580,314.

UUD 1A Estimated Total Project Costs (02-7000-7202)

Does not include costs for internal staff time or necessary City personnel for project management

Work Categories	District Formation Budget 7-12-21	CIP Budget Update 7-6-23	Pre-Bid Budget 12-4-23
Pre-Construction Phase - Professional Services			
Utility Specialists - Pre-Construction Services (Includes US, KCM, Fuscoe)	\$543,900	\$604,270	\$647,877
1. City and Agency Coordination (Change Order 10-16-23)	\$27,100	\$54,170	\$43,370
2. District 1A Design (Change Order 10-16-23)	\$423,010	\$456,310	\$505,352
3. Resident Interface and Project Status Tracking	\$56,160	\$56,160	\$68,925
4. Public Bidding Support	\$37,630	\$37,630	\$30,230
City Arborist Review	\$5,000	\$5,000	\$3,525
Environmental Review; City to complete in-house	TBD	\$0	\$0
GIS Services As-Needed	\$2,000	\$2,000	\$0
Communications Consultant Services	\$5,000	\$5,000	\$5,000
Subtotal for Pre-Construction Professional Services	\$555,900	\$616,270	\$656,402
Utility Companies - Estimates for City Paid Design and Construction Costs			
SDG&E			
<i>Estimated based on UUD Tewa. 7-12-21 estimated per LF of overhead. 7-6-23 & 12-4-23 estimated per LF of trench.</i>	\$904,842	\$959,175	\$1,004,850
AT&T			
<i>7-6-21 estimated based on UUD Tewa. 7-6-23 & 12-4-23 updated based on UUD 1A specific including 15% contingency</i>	\$678,632	\$180,000	\$163,944
Spectrum/Charter	\$284,297	\$0	\$0
Crown Castle	\$0	\$0	\$0
Subtotal for Utility Company Costs	\$1,867,771	\$1,139,175	\$1,168,794
Construction Phase			
City's General Contractor (Actual amount will be determined via City bid process). 7-12-21 estimate based on \$120/LF of overhead. 7-6-23 estimate based on UUD Tewa \$344.40/LF of trench. 12-4-23 estimate based on engineer's estimate.	\$918,000	\$3,146,108	\$3,049,746
Utility Specialists Construction Management and Support (18-month construction) 7-12-21 for as needed for duration of construction. 7-6-23 & 12-4-23 for full-time for City construction and as-needed for remainder .	\$169,820	\$423,740	\$423,740
Storm Water Compliance Services <i>7-12-21 included as part of above line item. 7-6-23 & 12-4-23 seperated for City to complete SWPPP in-house</i>		\$22,080	\$22,080
Additional Construction Management Services Contingency <i>For any necessary professional services during construction not accounted for in the budget estimated at 20%-25% of construction management & support.</i>	\$42,455	\$33,964	\$84,748
Subtotal for Construction Phase	\$1,130,275	\$3,625,892	\$3,580,314
Combined Estimated Total	\$3,553,946	\$5,381,337	\$5,405,510

OPINION OF PROBABLE COST

City of Del Mar
 Stratford Court South 1A Conversion
 Prepared for: City of Del Mar
 November 28, 2023

Item	Description	Quantity	Units	Unit Cost	Total Cost
GENERAL					
1	MOBILIZATION/DEMOLITION	1	LS	20,000.00	20,000
2	TRAFFIC CONTROL PLANS, INSTALL AND MAINTAIN TRAFFIC CONTROL	1	LS	65,000.00	65,000
3	CONSTRUCTION STAGING	1	LS	15,000.00	15,000
4	STORM WATER POLLUTION PREVENTION AND EROSION CONTROL BMP'S	1	LS	20,000.00	20,000
5	POTHOLING	335	EA	400.00	134,000
6	CONSTRUCTION SURVEY AND SURVEY MONUMENT PRESERVATION	1	LS	30,000.00	30,000
7	TORREY PINE TREE PROTECTION FENCING AND SIGNAGE	15	EA	500.00	7,500
DEMOLITION					
8	CLEARING AND GRUBBING AND DEMOLITION OF CONCRETE AND ASPHALT (INCLUDES SAW CUTTING, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	1	LS	150,000.00	150,000
9	REMOVE, SALVAGE, AND REINSTALL PARKING SIGN	1	LS	350.00	350
DRY UTILITY					
10	EXCAVATE TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	48	EA	500.00	24,000
11	JOINT TRENCH EXCAVATION (INCLUDING HAND DIGGING WHEN WITHIN TORREY PINE TREE CRITICAL ROOT ZONE, BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	11,165	LF	33.50	374,061
12	INSTALL DB 2" CONDUIT	340	LF	11.00	3,740
13	INSTALL DB 3" CONDUIT	10,240	LF	12.00	122,880
14	INSTALL DB 4" CONDUIT	10,765	LF	13.00	139,945
15	INSTALL 3309 HANDHOLES	2	EA	1,212.00	2,424
16	INSTALL 3312 HANDHOLES	1	EA	3,840.00	3,840
17	INSTALL 3313 HANDHOLES	16	EA	4,644.00	74,304
18	INSTALL 3314 HANDHOLES	1	EA	6,392.00	6,392
19	INSTALL 3315 HANDHOLES	7	EA	6,500.00	45,500
20	INSTALL 3316 HANDHOLES	1	EA	6,600.00	6,600
21	CONSTRUCT 3421 TRANSFORMER PADS	19	EA	2,465.00	46,835
22	CONSTRUCT 3416 TERMINATOR PADS	1	EA	2,480.00	2,480
23	CONSTRUCT 3 PHASE FUSE CABINET PADS	2	EA	3,500.00	7,000
24	INSTALL 2" AT&T CONDUIT	3,962	LF	5.00	19,810
25	INSTALL 4" AT&T TYPE C RIGID CONDUIT	12,948	LF	13.46	174,215
26	INSTALL 2' x 3' AT&T HANDHOLE	17	EA	931.16	15,830
27	INSTALL 2' x 3' x 3' AT&T HANDHOLE TRAFFIC RATED	19	EA	2,778.10	52,784
28	INSTALL 30" x 48" AT&T HANDHOLE	2	EA	3,000.00	6,000
29	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 2-ROD TGB	5	EA	3,250.00	16,250
30	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 3-ROD TGB	3	EA	3,500.00	10,500

Item	Description	Quantity	Units	Unit Cost	Total Cost
31	INSTALL 3' x 5' x 4' AT&T HANDHOLE	1	EA	4,250.00	4,250
32	INSTALL 3' x 5' AT&T HANDHOLE WITH 2-ROD TGB	1	EA	4,500.00	4,500
33	EXCAVATE 4' x 4' x 4' PIT TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	72	EA	500.00	36,000
34	INSTALL 1" CHARTER CONDUIT	1,614	LF	5.00	8,070
35	INSTALL 2" CHARTER CONDUIT	22,205	LF	7.00	155,435
36	INSTALL 3" CHARTER CONDUIT	5,586	LF	10.00	55,860
37	INSTALL CHARTER 9" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	4	EA	318.00	1,272
38	INSTALL CHARTER 12" X 12" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	16	EA	500.00	8,000
39	INSTALL CHARTER 14" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	14	EA	700.00	9,800
40	INSTALL CHARTER 2' X 3' VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	3	EA	800.00	2,400
41	INSTALL CHARTER 2' X 3' TRAFFIC RATED VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	EA	800.00	8,800
42	INSTALL 17"x30" CHARTER VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	LS	715.00	7,865
43	INSTALL 10" CIRCULAR CHARTER PULLBOXES (EXCLUDES MATERIAL FURNISHED BY OTHERS)	1	LS	1,000.00	1,000
44	INSTALL 1-1/4" CROWN CASTLE CONDUIT	11,970	LF	5.00	59,850
45	INSTALL 2" CROWN CASTLE CONDUIT	3,990	LF	7.00	27,930
46	INSTALL 2' x 3' CROWN CASTLE PULL BOX	7	EA	931.16	6,518
47	STONE VENEER RETAINING WALLS (INCLUDING BACK CUT, FOOTING EXCAVATION, FOOTING, CMU BLOCK, REBAR, WATERPROOFING, BACKFILL, FINISH SURFACE, SPOIL DISPOSAL, CAP, AND ANTI-GRAFFITI COATING)	1,145	SF	82.50	94,463
SURFACE IMPROVEMENTS - GENERAL					
48	TRENCH RESURFACING PER SDRSD G-24A AND G-24B	27,235	SF	18.90	514,742
49	REROUTE PRIVATE STORM DRAIN PIPE (STRATFORD STA 4+78.87)	1	LS	3,000.00	3,000
50	6" CONCRETE CURB & GUTTER PER SDRSD G-02, WITH ASPHALT OVERLAY TO MATCH EXISTING	130	LF	45.00	5,850
51	REPLACE IN KIND CONCRETE DRIVEWAYS (9 LOCATIONS)	885	SF	16.00	14,160
52	REPLACE IN KIND CONCRETE SIDEWALK PER SDRSD G-07	2,325	SF	10.75	24,994
53	REMOVE & REPLACE PEDESTRIAN RAMP INCLUDING REMOBILIZATION AFTER POLE REMOVAL (STRATFORD STA 7+63.55)	1	EA	12,000.00	12,000
54	RESTRIPING: REPAIR OF PAINT STRIPING (INCLUDES RESTRIPING TO MATCH ADJACENT STREET MARKINGS, STOP SIGNS, CROSSWALKS, LIMIT LINES)	1	LS	25,000.00	25,000
SURFACE IMPROVEMENTS - PENNY LANE					
55	DEMOLITION: WOOD RETAINING WALL (INCLUDES PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	65	LF	8.00	520
56	GRADING FOR AREA APPURTENANCES AT PENNY LANE	1	LS	15,000.00	15,000
57	8" CONCRETE CURB PER SDRSD G-1, WITH ASPHALT PATCH TO MATCH EXISTING	65	LF	47.00	3,055
58	CONCRETE RIBBON GUTTER (INCLUDES SAWCUTTING, AC PAVING REMOVAL, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	330	SF	18.00	5,940
59	2" GRIND AND OVERLAY	545	SF	4.00	2,180

Item	Description	Quantity	Units	Unit Cost	Total Cost
60	STORM DRAIN HEADWALL AT PENNY LANE PER SDRSD D-32, TYPE B	1	EA	7,500.00	7,500
61	24"x24" INFILTRATION CATCH BASIN AT PENNY LANE	1	EA	11,500.00	11,500
LANDSCAPING & SITE DRAINAGE					
62	IRRIGATION REPAIRS, AS NECESSARY AND IMMEDIATELY FOLLOWING REMOVAL OR DAMAGE	1	LS	15,000.00	15,000
63	HYDROSEED MIX APPLICATION IN ALL DISTURBED LANDSCAPE AREAS	3,770	SF	1.60	6,032
64	BOLLARDS, PER SDG&E	15	EA	1,118.00	16,770
Subtotal Base Bid Schedule "A"					2,772,496
CONTINGENCY					277,250
Total Base Bid Schedule "A"					3,049,746

Item	Description	Quantity	Units	Unit Cost	Total Cost
BID SCHEDULE "B" (ALTERNATE NO. 1)					
1.1	1.5" AC OVERLAY WITH 6" WIDE EDGE GRIND, INCLUDING RAISE MANHOLE COVER & VALVES TO GRADE: 48,267 SF (FROM APPROX. STA 2+90 TO STA 16+95)	48,267	SF	4.00	193,068
1.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 1.5" OVERLAY AND EDGE GRIND AREA: 4,827 SF (FROM APPROX. STA 2+90 TO STA 16+95) AS DIRECTED BY THE CITY.	4,827	SF	4.75	22,928
1.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN 1.5" OVERLAY AND EDGE GRIND AREA (FROM APPROX. STA 2+90 TO STA 16+95)	5,735	SF	(4.00)	-22,940
1.4	REMOVE AND REPLACE CROSS-GUTTER PER SDRSD G-13 (FROM APPROX. 16+95 TO STA 17+05)	424	SF	31.00	13,144
Subtotal Alternate Bid Schedule "B"					206,200

Item	Description	Quantity	Units	Unit Cost	Total Cost
BID SCHEDULE "C" (ALTERNATE NO. 2)					
2.1	3" AC GRIND AND OVERLAY: 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	5,773	SF	5.00	28,865
2.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 577 SF (FROM APPROX. STA 1+25 TO STA 2+90) AS DIRECTED BY THE CITY.	577	SF	3.50	2,020
2.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN AC PAVING GRIND AND OVERLAY 3": 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	750	SF	(5.00)	-3,750
Subtotal Alternate Bid Schedule "C"					27,135

Item	Description	Quantity	Units	Unit Cost	Total Cost
BID SCHEDULE "D" (ALTERNATE NO. 3)					
3.1	AC PAVING GRIND AND OVERLAY 3": 27,059 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00)	27,059	SF	5.00	135,295
3.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 2,706 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00) AS DIRECTED BY THE CITY.	2,706	SF	3.50	9,471

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- The staff report notes that the Stratford project has 7,650 linear overhead feet, and 9,135 feet of trench. Line item #11 of the engineer's estimate (previous page) notes that there is 11,165 feet of joint trench at a cost of \$31.50 per foot, and a total cost of \$374,061.
- Utility Specialists' estimate in 2016 was 6,470 feet
- Utility Specialists' estimate in 2019 was 7,300 feet.
- Council Member Quirk used a contractor's wheel to measure distances and measured 6,900 feet of trenching, including 3,400 ft along Stratford, 3,000 ft along intersecting streets, and 500 ft for cutovers.
- Several other significant line items (12, 13, 25, 35, 44, 48) appear to have lengths that are all in excess of 10,000 feet, driven by the length of the trench.
- Can staff please explain how the lengths in the engineer's estimate were calculated, particularly the 11,165 for the joint trench?

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- Can staff explain the difference in unit costs (\$5.00 to \$13.46 per foot) for installing conduit? Does the price of the material or amount of work vary significantly depending on whether it is 1", 2", 3" or 4" conduit?
- Can staff explain how these conduits are arranged in the joint trench?

Line Item	Type of Conduit	Linear Feet	Unit Cost	Total Cost
Line Item #12	Install DB 2" Conduit	340	\$ 11.00	\$ 3,740
Line Item #13	Install DB 3" Conduit	10,240	\$ 12.00	\$ 122,880
Line Item #14	Install DB 4" Conduit	10,765	\$ 13.00	\$ 139,945
Line Item #24	Install 2" AT&T Conduit	3,962	\$ 5.00	\$ 19,810
Line Item #25	Install 4" AT&T Type C Rigid Conduit	12,948	\$ 13.46	\$ 174,280
Line Item #34	Install 1" Charter Conduit	1,614	\$ 5.00	\$ 8,070
Line Item #35	Install 2" Charter Conduit	22,205	\$ 7.00	\$ 155,435
Line Item #36	Install 3" Charter Conduit	5,586	\$ 10.00	\$ 55,860
Line Item #44	Install 1-1/4" Crown Castle Conduit	11,970	\$ 5.00	\$ 59,850
Line Item #45	Install 2" Crown Castle Conduit	3,990	\$ 7.00	\$ 27,930

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- The engineer's cost estimate does not provide any insights into the costs of materials vs. labor. Is it possible to have the contractor provide the price for the major supplies such as handholes, concrete pads, stone, pedestals, vaults, and conduit?
- If we can't get materials prices from the contractor, can our consultant provide information on bulk/wholesale prices for key materials?
- What % of the \$3 million estimated contractor cost does staff estimate to be materials vs. labor? 10%?
- How many bids do we expect for the Stratford project?

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- There appears to be wide variability in some line items between public works projects. Should there be more consistency across projects?
- Why, for example, are the mobilization and storm water management estimates for the lagoon trail project so large compared to the Stratford project?

	Stratford UG	Lagoon Trail	San Dieguito Dr.
Mobilization	20,000	140,000	50,000
Mobilization % of Total	0.7%	5.7%	3.8%
Storm Water Management	20,000	100,000	14,000
Storm Water Management % of Total	0.7%	4.1%	1.1%
Traffic Control	65,000	50,000	60,000
Traffic Control % of Total	2.1%	2.0%	4.5%
Construction Contingency	277,250	320,579	304,373
Construction Contingency % of Total	10%	15%	30%
Total Construction Cost	3,049,746	2,457,769	1,318,948

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- What is potholing? Was it done for the Tewa project?
- It appears there will be 335 potholes done by the contractor for Stratford. How is this information used or recorded?
- What are the specifics that make up the vertical profile design? How does this differ from the “horizontal profile” design?
- Will the mainline trench stay primarily on one side of the street?

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- Is it possible to install video “audit cameras” to monitor active construction sites for this project and other public works projects? Cameras are inexpensive and used for a range of different activities. Can cameras help to ensure that best practices are followed?
- Is it possible to explore technology-based solutions to reduce traffic control costs for public works projects? (Del Mar is likely to spend \$300,000+ on traffic control over the next 2 years alone.)



Radar Speed Trailers

EXPLORE



Automated Flaggers

EXPLORE



Changeable Message Signs



Portable Traffic Signals



Surveillance Camera Trailers

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

- What is the process for the 64 residents with laterals?
- Is the goal to have residents in zone 1 start working on their laterals as soon as the City is done with its construction in zone 1 (i.e. about 3 months into 7-month total construction timeline)?
- Are these residents communicating with each other to do things like identify contractors and coordinate timing of work so that it occurs quickly and efficiently?
- Are there any identified “block captains” or resident organizers?

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

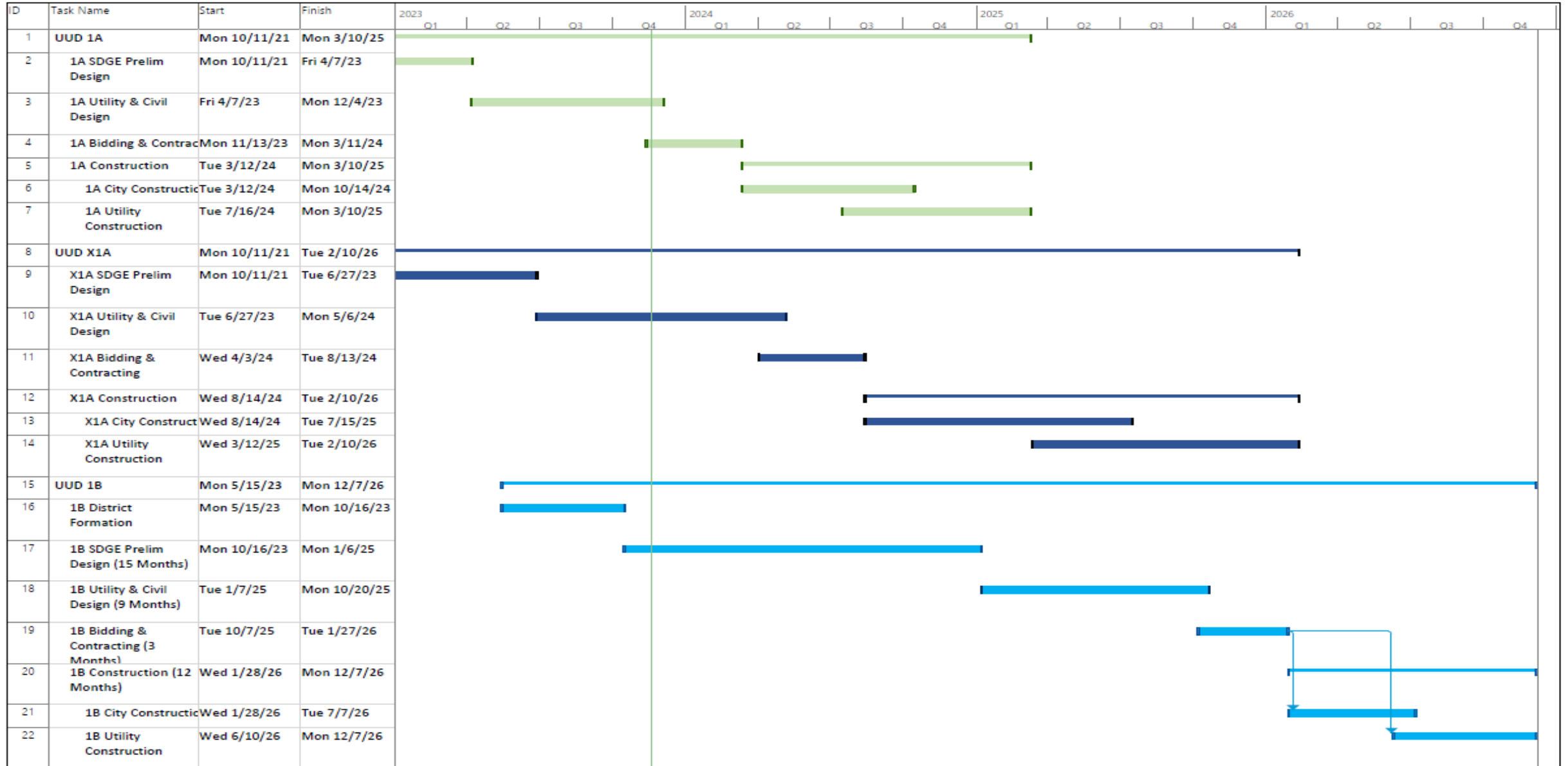
- It is my understanding that the Stratford project is being designed and constructed in three geographic zones. When did staff receive phase 1 of the design from SDG&E for the engineering for zone 1? (My understanding is that it was December of 2022.)
- When did staff receive SDG&E designs for zones 2 and 3?
- How many hours were estimated for Fuscoe to do the civil design for Stratford? (I believe it is 880 hours, or about 5 months.)
- Was it possible for Fuscoe to start working on the civil design for zone 1 as soon as they received the preliminary design from SDG&E for zone 1? Did they do this?
- It is December 2023, 11 months after receiving zone 1 from SDG&E. If Fuscoe started work in January, it seems that Fuscoe could have been done with civil design in July or August.
- How many hours of civil design work has Fuscoe completed on Crest?
- What is the process for civil design for future projects? Will staff wait until it gets the entire SDG&E design, or will staff start on civil design as it gets each zone?

- What is the estimated length of time for City construction for Stratford? Is it 7 months?
- If City construction is 7 months, why does the estimate in the staff report state 18 months for construction management and include an amount of \$423,740? At an hourly rate of \$175, this translates to 2,421 hours, or around 14 months. Can staff address this?
- For the Stratford project, which is much larger than the Tewa project, is it expected that the contractor will provide a daily oversight/manager person for the project?

- Can staff address timelines of projects? Currently, the staff report timeline (next page) shows City construction for Crest (11-month duration) finishing on 7/15/2025 and City construction for Stratford north, starting 6 months later on 1/26/2026. Why is there a gap of 6 months?
- Based on the Stratford timeline, we are looking at 33+ months from today to start construction for the next project, August 2026. Stratford north is a fairly small project (56% the size of Stratford south) and could have city construction done in 4 months, or May 2026. There appears to be a potential gap already of 3+ months. If this is correct, can we look to start the process for the next project, the beach area, as soon as possible?

Questions & Observations for Stratford Undergrounding Project from Council Member Quirk

ATTACHMENT O



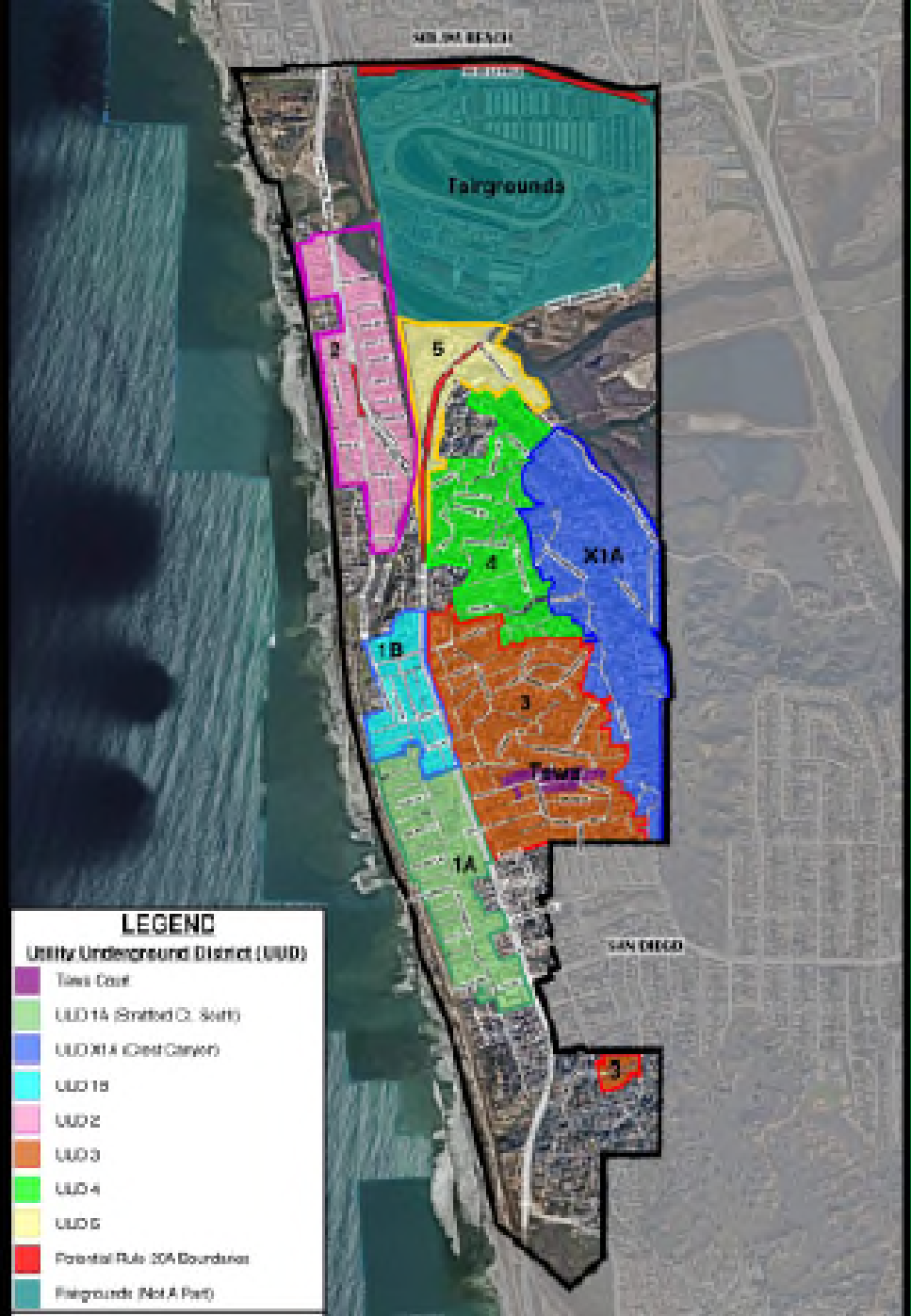
Item 7: UUD 1A – Stratford Court South Project Pre-Bid Update, Approval of Design Review Permit DRB23-024 and Land Conservation Permit LC23-014, and Approval of Task Order Amendment for Utility Specialists Southwest, Inc.

City Council

December 4, 2023



CITY OF
DELMAR™



Location: Stratford Court from 4th to 12th Street and Alleys West of Camino Del Mar

- 56 Poles
- 7,650 LF of Overhead
- 11,165 LF Trenching
- 64 Laterals
- 227 properties
- 464 residences
- \$5.40 million estimated project cost



UUD 1A (Stratford Court South) Status

- Currently in the Design Phase nearing the Public Bidding Phase scheduled to start this month with an estimated date of February 20, 2024, for City Council award of the construction contract.
- SDG&E completed their preliminary designs in April 2023 and are currently finalizing their design documents.
- AT&T, Charter, and Crown Castle are using SDG&E's joint trench layout to complete their final design documents.
- The City's undergrounding consultant and City staff completed the civil engineering design and are currently finalizing the construction bid documents.
- Homeowner lateral and easement exhibits have been sent out with communication on-going.

UUD 1A (Stratford Court South) Project Budget

Work	District Formation Budget 7-12-21	CIP Update Budget 7-6-23	Pre-Bid Budget 12-4-23
Pre-Construction Phase	\$555,900	\$616,270	\$656,402
Utility Companies Costs	\$1,867,771	\$1,139,175	\$1,168,794
Construction Phase	\$1,130,275	\$3,625,892	\$3,580,314 ¹
Combined Estimated Total	\$3,553,946	\$5,381,337	\$5,405,510

Engineer's Estimate

1. UUD 1A (Base Bid) = \$3.05 million
2. Stratford Ct. Additional Paving (Alternate Bids) = \$400 thousand (not included in UUD 1A project budget)

UUD 1A (Stratford Court South) Project Funding

PROGRAM	FUND	ACCOUNT	AMOUNT
Undergrounding (FY21-22 Carryover)	Measure Q	02.7000.7202	\$555,900
Undergrounding (FY23-24 Budget)	Measure Q	02.7000.7202	\$3,325,500
Undergrounding (FY24-25 Budget)	Measure Q	02.7000.7202	\$1,500,000
Penny Lane Imprv (FY23-24 Budget)	General	55.7000.7032	\$30,000
931 Stratford Ct (FY23-24)	In-Lieu	01.2319.1000	\$4,160
TOTAL FUNDING			\$5,415,560

Total funding shown does not include Stratford Ct. paving. 931 Stratford Ct includes an additional \$11,375 for paving.

Retaining Wall Locations



215 9th Street

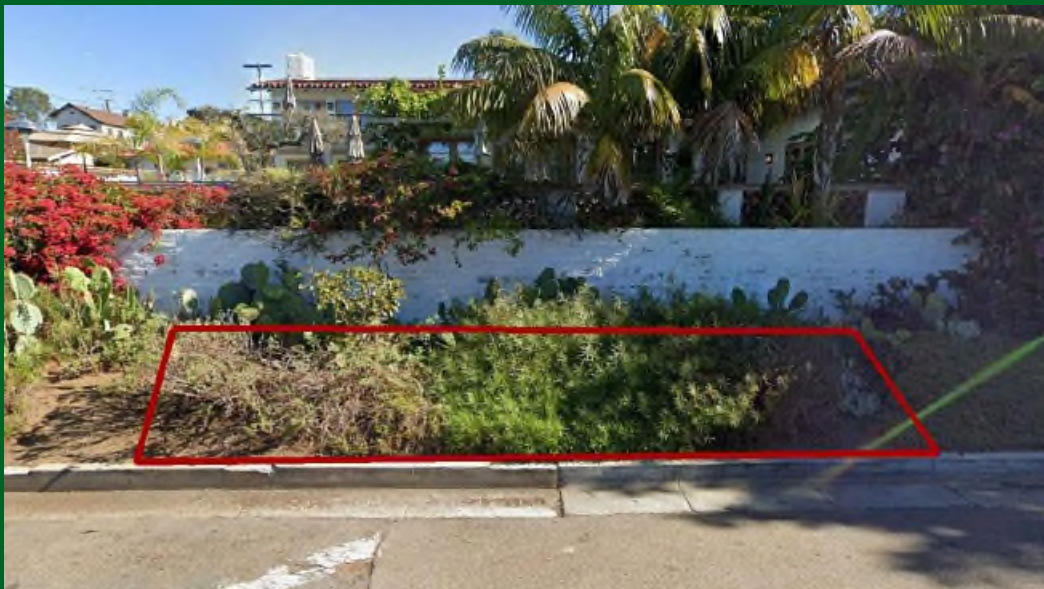
North and South



639 Stratford Ct.



717 Stratford Ct.



1105 Stratford Ct.

*Staff will return to City Council for retaining wall easements at 639, 717, and 1105 Stratford Court prior to construction.

Retaining Wall Material



Design Review and Land Conservation Permit

- A Design Review Permit (DRB23-024) and a Land Conservation Permit (LC23-014) are necessary for UUD 1A for retaining walls and grading to create level accessible ground in sloping areas for dry utility equipment.
- Wall design consistent with materials previously approved by Council
- Walls sited to reduce grading quantities
- Staff recommends Council adopt resolution approving DRB23-024 and Land Conservation Permit LC23-014

Task Order Amendment for UUD 1A Pre-Construction Services

UUD 1A Utility Specialists - Pre-Construction Services (Includes UD, KCM, Fuscoe)				
Work Categories	Budget as of 7-12-21	Amendment 10-16-23	Amendment 12-4-23	Budget as of 12-4-23
1. City and Agency Coordination	\$27,100	\$16,270		\$43,370
2. District 1A Design	\$423,010	\$16,530	\$65,812	\$505,352
3. Resident Interface and Project Status Tracking	\$56,160		\$12,766	\$68,925
4. Public Bidding Support	\$37,630		-\$7,400	\$30,230
Task Order Total	\$543,900	\$32,800	\$71,178	\$647,877

UUDs 1A and X1A Construction Timing Recommendation

- UPAC subcommittee formed on February 16, 2023, to evaluate and develop objective criteria and a recommendation for determining whether the City's construction activities for UUDs 1A and X1A should be done sequentially, concurrently, or go-when-ready.
- Sequential: City construction activities for UUD 1A proceed before UUD X1A city construction is started.
- Concurrent: City construction activities proceed at the same time for both UUDs 1A & X1A.
- Go-When-Ready: City construction activities proceed for UUDs 1A & X1A when each is ready for that phase.

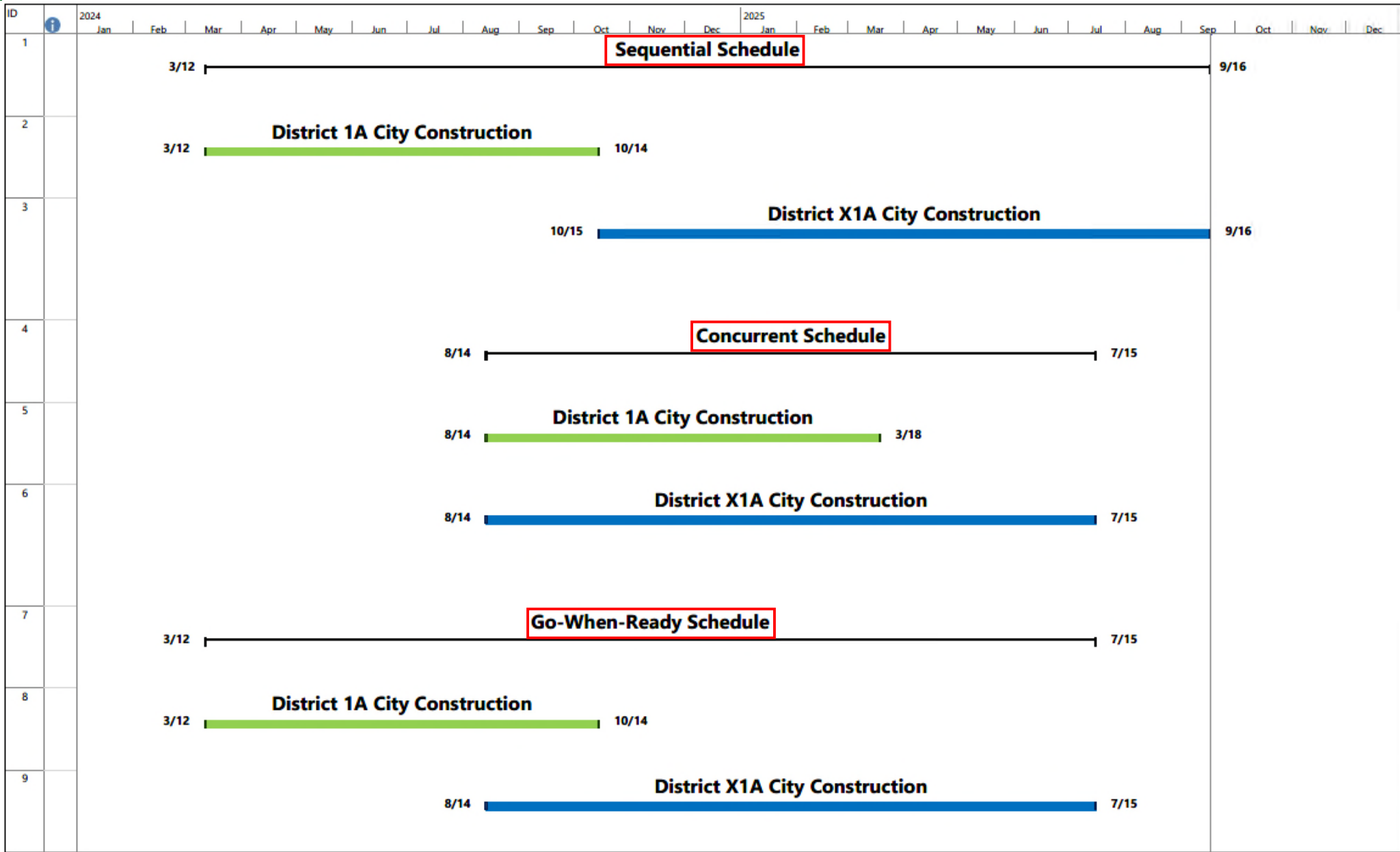
Objective Criteria

1. Comparative Projected Timeframes for Projects
2. Benefits and Risks of Proceeding (Economic and Non-Economic)
3. Feasibility: Staff Workload Management and Third Parties (Utilities, Telecom, Laterals)
4. Community Impacts: Views, Property Values, Traffic Delays and Fire Safety

Undergrounding Timelines

	1A	1A	1A	X1A	X1A	X1A
	Sequential	Concurrent	Go-When-Ready	Sequential	Concurrent	Go-When-Ready
Civil Design Completion	12/23	12/23	12/23	5/24	5/24	5/24
Start of City Construction	3/24	8/24	3/24	10/24	8/24	8/24
End of City Construction	10/24	3/25	10/24	9/25	7/25	7/25
Utility Completion	3/25	8/25	3/25	4/26	2/26	2/26

Undergrounding Timelines



Objective Criteria

Objective Criterion No. 1: Projected Timeframes

1. Concurrent schedule delays UUD 1A by 5 months
2. Sequential schedule delays UUD X1A by 2 months
3. Go-When-Ready schedule causes no delays

Objective Criterion No. 2: Potential Benefits & Risks of Concurrent Scheduling

1. The extent of possible savings for a concurrent schedule is highly uncertain at this point. Actual construction costs will only be determined through the competitive public bidding process.
2. A concurrent schedule with a single contractor allows for potential transfer of resources. However, issues or problems could also impact both projects.

Objective Criteria

Objective Criterion No. 3: Staff Workload Management and Third Parties (Utilities, Telecom, Laterals)

1. Staff's preference is to work with only one contractor at a time (concurrent or sequential). However, the timeline benefit of proceeding on a go-when-ready basis is sufficiently beneficial to justify the additional staff work.
2. Both SDG&E and Telecom indicate but do not promise capacity to conduct two construction projects concurrently or go-when-ready.

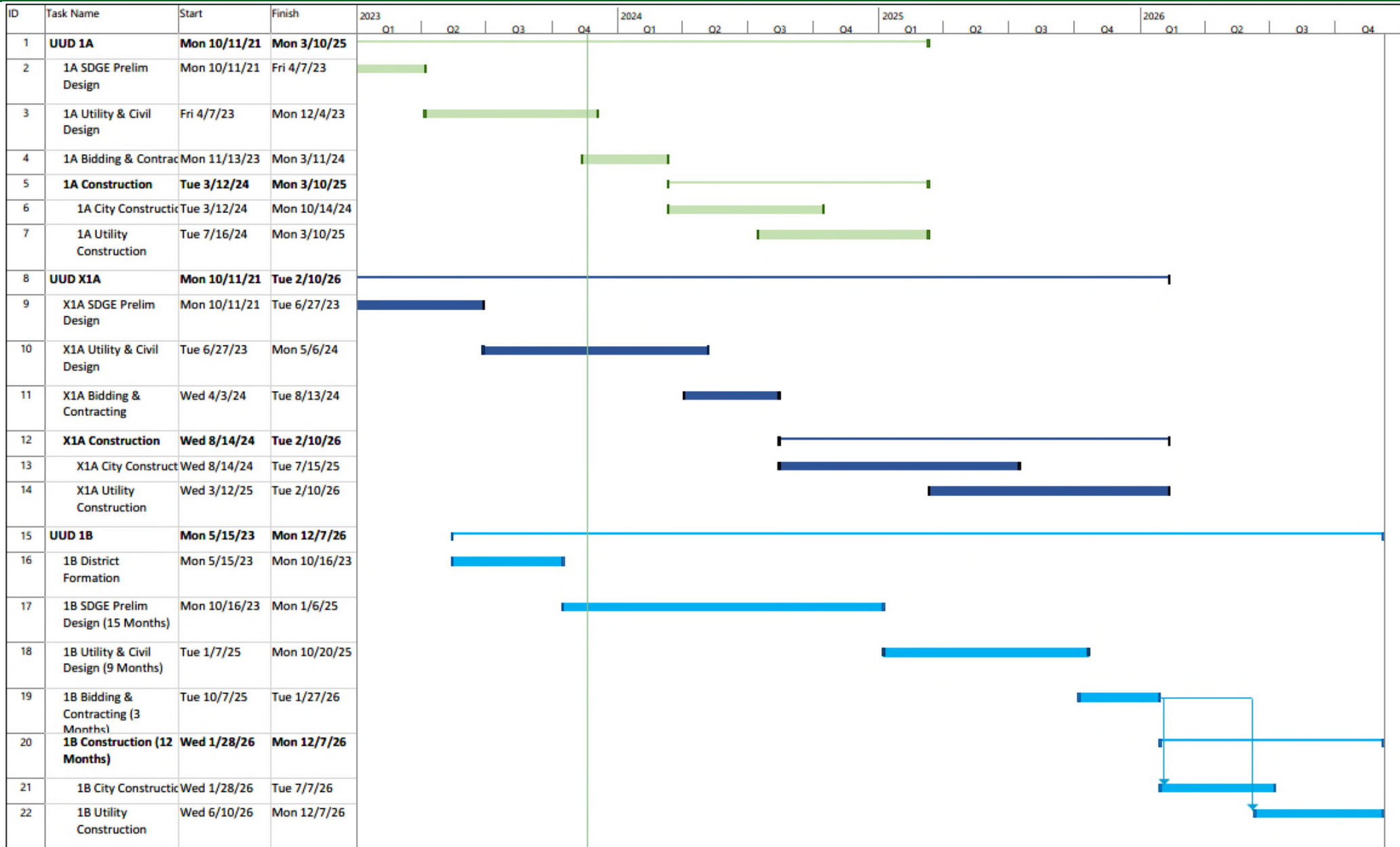
Objective Criterion No. 4: Community Impacts

1. The concurrent schedule has a net delay to residence months in receiving the benefit of undergrounding.
2. The sequential schedule has potentially fewer public impacts.
3. A concurrent or go-when-ready schedule has potentially less risk to enter another fire season due to delays. However, this is not expected with any of the current schedules.

Recommendation

Staff and UPAC recommend the City proceed with City Construction for UUDs 1A & X1A on a go-when-ready schedule. This schedule optimizes the timing for both projects, and there are limited expected drawbacks to proceeding based on the objective criteria.

UUDs In-Progress Schedule



Next Steps

1. File a Notice of Exemption (NOE) pursuant to the California Environmental Quality Act (CEQA) with the San Diego County Recorder's Office. A copy of the NOE will then be submitted to SDG&E as confirmation that environmental review pursuant to CEQA was completed for this project.
2. Receive construction package from SDG&E and final design plans from Charter.
3. Receive final agreement and cost estimate from SDG&E.

Next Steps

4. Public bidding process for construction contractors, evaluation of bids, award of construction contract by City Council, and issuance of Notice to Proceed. Staff anticipates bringing the construction contract award to City Council for consideration at the February 20, 2024 meeting.
5. Obtain SDG&E joint trench and City retaining wall easements.
6. Final step per Del Mar Municipal Code Chapter 23.54 will be City Council adoption of a resolution declaring the date by which all poles within UUD 1A must be removed.

Requested Action/Recommendation:

1. Receive the Utility Undergrounding District 1A - Stratford Court South Project (UUD 1A) pre-bid update report;
2. Adopt a Resolution (Attachment A) approving Design Review Permit DRB23-024 and Land Conservation Permit LC23-014 for grading and installation of retaining walls required to locate undergrounded utility facilities in the Stratford Court City Right-of-Way and Easement adjacent to the properties at 639, 717, and 1105 Stratford Court and 215 9th Street;
3. Approve a \$71,178 Task Order Amendment (Attachment B) with Utility Specialists Southwest, Inc. for additional pre-construction services for UUD 1A;
4. Authorize the City Manager to execute the Task Order Amendment;
5. Authorize City Construction for UUDs 1A & X1A to proceed on a go-when-ready schedule.



OPINION OF PROBABLE COST

City of Del Mar
 Stratford Court South 1A Conversion
 Prepared for: City of Del Mar
 November 28, 2023

Item	Description	Quantity	Units	Unit Cost	Total Cost
GENERAL					
1	MOBILIZATION/DEMOLIBIZATION	1	LS	20,000.00	20,000
2	TRAFFIC CONTROL PLANS, INSTALL AND MAINTAIN TRAFFIC CONTROL	1	LS	65,000.00	65,000
3	CONSTRUCTION STAGING	1	LS	15,000.00	15,000
4	STORM WATER POLLUTION PREVENTION AND EROSION CONTROL BMP'S	1	LS	20,000.00	20,000
5	POTHOLING	335	EA	400.00	134,000
6	CONSTRUCTION SURVEY AND SURVEY MONUMENT PRESERVATION	1	LS	30,000.00	30,000
7	TORREY PINE TREE PROTECTION FENCING AND SIGNAGE	15	EA	500.00	7,500
DEMOLITION					
8	CLEARING AND GRUBBING AND DEMOLITION OF CONCRETE AND ASPHALT (INCLUDES SAW CUTTING, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	1	LS	150,000.00	150,000
9	REMOVE, SALVAGE, AND REINSTALL PARKING SIGN	1	LS	350.00	350
DRY UTILITY					
10	EXCAVATE TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	48	EA	500.00	24,000
11	JOINT TRENCH EXCAVATION (INCLUDING HAND DIGGING WHEN WITHIN TORREY PINE TREE CRITICAL ROOT ZONE, BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	11,165	LF	33.50	374,061
12	INSTALL DB 2" CONDUIT	340	LF	11.00	3,740
13	INSTALL DB 3" CONDUIT	10,240	LF	12.00	122,880
14	INSTALL DB 4" CONDUIT	10,765	LF	13.00	139,945
15	INSTALL 3309 HANDHOLES	2	EA	1,212.00	2,424
16	INSTALL 3312 HANDHOLES	1	EA	3,840.00	3,840
17	INSTALL 3313 HANDHOLES	16	EA	4,644.00	74,304
18	INSTALL 3314 HANDHOLES	1	EA	6,392.00	6,392
19	INSTALL 3315 HANDHOLES	7	EA	6,500.00	45,500
20	INSTALL 3316 HANDHOLES	1	EA	6,600.00	6,600
21	CONSTRUCT 3421 TRANSFORMER PADS	19	EA	2,465.00	46,835
22	CONSTRUCT 3416 TERMINATOR PADS	1	EA	2,480.00	2,480
23	CONSTRUCT 3 PHASE FUSE CABINET PADS	2	EA	3,500.00	7,000
24	INSTALL 2" AT&T CONDUIT	3,962	LF	5.00	19,810
25	INSTALL 4" AT&T TYPE C RIGID CONDUIT	12,948	LF	13.46	174,215
26	INSTALL 2' x 3' AT&T HANDHOLE	17	EA	931.16	15,830
27	INSTALL 2' x 3' x 3' AT&T HANDHOLE TRAFFIC RATED	19	EA	2,778.10	52,784
28	INSTALL 30" x 48" AT&T HANDHOLE	2	EA	3,000.00	6,000
29	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 2-ROD TGB	5	EA	3,250.00	16,250
30	INSTALL 30" x 48" AT&T HANDHOLE TRAFFIC RATED WITH 3-ROD TGB	3	EA	3,500.00	10,500

Item	Description	Quantity	Units	Unit Cost	Total Cost
31	INSTALL 3' x 5' x 4' AT&T HANDHOLE	1	EA	4,250.00	4,250
32	INSTALL 3' x 5' AT&T HANDHOLE WITH 2-ROD TGB	1	EA	4,500.00	4,500
33	EXCAVATE 4' x 4' x 4' PIT TO LOCATE AND INTERCEPT EXISTING CONDUITS (INCLUDING BACKFILL, COMPACTION, AND SPOIL DISPOSAL)	72	EA	500.00	36,000
34	INSTALL 1" CHARTER CONDUIT	1,614	LF	5.00	8,070
35	INSTALL 2" CHARTER CONDUIT	22,205	LF	7.00	155,435
36	INSTALL 3" CHARTER CONDUIT	5,586	LF	10.00	55,860
37	INSTALL CHARTER 9" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	4	EA	318.00	1,272
38	INSTALL CHARTER 12" X 12" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	16	EA	500.00	8,000
39	INSTALL CHARTER 14" X 20" PEDESTALS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	14	EA	700.00	9,800
40	INSTALL CHARTER 2' X 3' VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	3	EA	800.00	2,400
41	INSTALL CHARTER 2' X 3' TRAFFIC RATED VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	EA	800.00	8,800
42	INSTALL 17"X30" CHARTER VAULTS (EXCLUDES MATERIAL FURNISHED BY OTHERS)	11	LS	715.00	7,865
43	INSTALL 10" CIRCULAR CHARTER PULLBOXES (EXCLUDES MATERIAL FURNISHED BY OTHERS)	1	LS	1,000.00	1,000
44	INSTALL 1-1/4" CROWN CASTLE CONDUIT	11,970	LF	5.00	59,850
45	INSTALL 2" CROWN CASTLE CONDUIT	3,990	LF	7.00	27,930
46	INSTALL 2' x 3' CROWN CASTLE PULL BOX	7	EA	931.16	6,518
47	STONE VENEER RETAINING WALLS (INCLUDING BACK CUT, FOOTING EXCAVATION, FOOTING, CMU BLOCK, REBAR, WATERPROOFING, BACKFILL, FINISH SURFACE, SPOIL DISPOSAL, CAP, AND ANTI-GRAFFITI COATING)	1,145	SF	82.50	94,463
SURFACE IMPROVEMENTS - GENERAL					
48	TRENCH RESURFACING PER SDRSD G-24A AND G-24B	27,235	SF	18.90	514,742
49	REROUTE PRIVATE STORM DRAIN PIPE (STRATFORD STA 4+78.87)	1	LS	3,000.00	3,000
50	6" CONCRETE CURB & GUTTER PER SDRSD G-02, WITH ASPHALT OVERLAY TO MATCH EXISTING	130	LF	45.00	5,850
51	REPLACE IN KIND CONCRETE DRIVEWAYS (9 LOCATIONS)	885	SF	16.00	14,160
52	REPLACE IN KIND CONCRETE SIDEWALK PER SDRSD G-07	2,325	SF	10.75	24,994
53	REMOVE & REPLACE PEDESTRIAN RAMP INCLUDING REMOBILIZATION AFTER POLE REMOVAL (STRATFORD STA 7+63.55)	1	EA	12,000.00	12,000
54	RESTRIPING: REPAIR OF PAINT STRIPING (INCLUDES RESTRIPING TO MATCH ADJACENT STREET MARKINGS, STOP SIGNS, CROSSWALKS, LIMIT LINES)	1	LS	25,000.00	25,000
SURFACE IMPROVEMENTS - PENNY LANE					
55	DEMOLITION: WOOD RETAINING WALL (INCLUDES PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	65	LF	8.00	520
56	GRADING FOR AREA APPURTENANCES AT PENNY LANE	1	LS	15,000.00	15,000
57	8" CONCRETE CURB PER SDRSD G-1, WITH ASPHALT PATCH TO MATCH EXISTING	65	LF	47.00	3,055
58	CONCRETE RIBBON GUTTER (INCLUDES SAWCUTTING, AC PAVING REMOVAL, PROTECTION OF EXISTING TO REMAIN AND HAUL AWAY TO LEGAL DISPOSAL SITE)	330	SF	18.00	5,940
59	2" GRIND AND OVERLAY	545	SF	4.00	2,180

Item	Description	Quantity	Units	Unit Cost	Total Cost
60	STORM DRAIN HEADWALL AT PENNY LANE PER SDRSD D-32, TYPE B	1	EA	7,500.00	7,500
61	24"x24" INFILTRATION CATCH BASIN AT PENNY LANE	1	EA	11,500.00	11,500
LANDSCAPING & SITE DRAINAGE					
62	IRRIGATION REPAIRS, AS NECESSARY AND IMMEDIATELY FOLLOWING REMOVAL OR DAMAGE	1	LS	15,000.00	15,000
63	HYDROSEED MIX APPLICATION IN ALL DISTURBED LANDSCAPE AREAS	3,770	SF	1.60	6,032
64	BOLLARDS, PER SDG&E	15	EA	1,118.00	16,770
Subtotal Base Bid Schedule "A"					2,772,496
CONTINGENCY					277,250
Total Base Bid Schedule "A"					3,049,746

Item	Description	Quantity	Units	Unit Cost	Total Cost
BID SCHEDULE "B" (ALTERNATE NO. 1)					
1.1	1.5" AC OVERLAY WITH 6' WIDE EDGE GRIND, INCLUDING RAISE MANHOLE COVER & VALVES TO GRADE: 48,267 SF (FROM APROX. STA 2+90 TO STA 16+95)	48,267	SF	4.00	193,068
1.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 1.5" OVERLAY AND EDGE GRIND AREA: 4,827 SF (FROM APROX. STA 2+90 TO STA 16+95) AS DIRECTED BY THE CITY.	4,827	SF	4.75	22,928
1.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN 1.5" OVERLAY AND EDGE GRIND AREA (FROM APROX. STA 2+90 TO STA 16+95)	5,735	SF	(4.00)	-22,940
1.4	REMOVE AND REPLACE CROSS-GUTTER PER SDRSD G-13 (FROM APPROX. 16+95 TO STA 17+05)	424	SF	31.00	13,144
Subtotal Alternate Bid Schedule "B"					206,200
BID SCHEDULE "C" (ALTERNATE NO. 2)					
2.1	3" AC GRIND AND OVERLAY: 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	5,773	SF	5.00	28,865
2.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 577 SF (FROM APPROX. STA 1+25 TO STA 2+90) AS DIRECTED BY THE CITY.	577	SF	3.50	2,020
2.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN AC PAVING GRIND AND OVERLAY 3": 5,773 SF (FROM APPROX. STA 1+25 TO STA 2+90)	750	SF	(5.00)	-3,750
Subtotal Alternate Bid Schedule "C"					27,135
BID SCHEDULE "D" (ALTERNATE NO. 3)					
3.1	AC PAVING GRIND AND OVERLAY 3": 27,059 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00)	27,059	SF	5.00	135,295
3.2	FULL DEPTH AC PAVING REMOVAL AND REPLACEMENT TO 4" DEPTH WITH BASE COMPACTION WITHIN 3" GRIND AND OVERLAY AREA: 2,706 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00) AS DIRECTED BY THE CITY.	2,706	SF	3.50	9,471

Item	Description	Quantity	Units	Unit Cost	Total Cost
3.3	CREDIT FOR GRIND AND OVERLAY PORTION OF TRENCH RESURFACING BASE BID ITEM WITHIN AC PAVING GRIND AND OVERLAY 3": 27,059 SF (FROM STA 21+88.00 TO STA 27+20.00, FROM STA 28+00.00 TO STA 28+80.00 AND FROM STA 29+85.00 TO STA 33+90.00) AREAS	4,095	SF	(5.00)	-20,475
3.4	REMOVE AND REPLACE CROSS-GUTTERS PER SDRSD G-12, (2 LOCATIONS: 50+00.00 AND 31+15.00)	640	SF	31.00	19,840
3.5	REMOVE SPEED BUMP AND REPLACE WITH SPEED CUSHION PER PLAN DETAIL (STA 32+50.00)	1	LS	2,500.00	2,500
Subtotal Alternate Bid Schedule "D"					146,631
BID SCHEDULE "E" (ALTERNATE NO. 4)					
4.1	ASHALT EMULSION: 21,836 SF (FROM STA 1+85.00 TO STA 21+85.00)	21,836	SF	0.50	10,918
Subtotal Alternate Bid Schedule "E"					10,918
CONTINGENCY					3,909
Total Alternate Bid Schedules "B", "C", "D" & "E"					394,793

Disclaimer:

All estimates and budgets prepared by Consultant are expressions of opinion of probable costs and should not be construed as a promise or guarantee of actual costs. As such, costs may vary from estimates.

UUD 1A Estimated Total Project Costs (02-7000-7202)

11/28/23

Does not include costs for internal staff time or necessary City personnel for project management

Work Categories	District Formation Budget 7-12-21	CIP Budget Update 7-6-23	Pre-Bid Budget 12-4-23
Pre-Construction Phase - Professional Services			
Utility Specialists - Pre-Construction Services (Includes US, KCM, Fuscoe)	\$543,900	\$604,270	\$647,877
1. City and Agency Coordination (Change Order 10-16-23)	\$27,100	\$54,170	\$43,370
2. District 1A Design (Change Order 10-16-23)	\$423,010	\$456,310	\$505,352
3. Resident Interface and Project Status Tracking	\$56,160	\$56,160	\$68,925
4. Public Bidding Support	\$37,630	\$37,630	\$30,230
City Arborist Review	\$5,000	\$5,000	\$3,525
Environmental Review; City to complete in-house	TBD	\$0	\$0
GIS Services As-Needed	\$2,000	\$2,000	\$0
Communications Consultant Services	\$5,000	\$5,000	\$5,000
Subtotal for Pre-Construction Professional Services	\$555,900	\$616,270	\$656,402
Utility Companies - Estimates for City Paid Design and Construction Costs			
SDG&E			
<i>Estimated based on UUD Tewa. 7-12-21 estimated per LF of overhead. 7-6-23 & 12-4-23 estimated per LF of trench.</i>	\$904,842	\$959,175	\$1,004,850
AT&T			
<i>7-6-21 estimated based on UUD Tewa. 7-6-23 & 12-4-23 updated based on UUD 1A specific including 15% contingency</i>	\$678,632	\$180,000	\$163,944
Spectrum/Charter	\$284,297	\$0	\$0
Crown Castle	\$0	\$0	\$0
Subtotal for Utility Company Costs	\$1,867,771	\$1,139,175	\$1,168,794
Construction Phase			
City's General Contractor (Actual amount will be determined via City bid process). 7-12-21 estimate based on \$120/LF of overhead. 7-6-23 estimate based on UUD Tewa \$344.40/LF of trench. 12-4-23 estimate based on engineer's estimate.	\$918,000	\$3,146,108	\$3,049,746
Utility Specialists Construction Management and Support (18-month construction) 7-12-21 for as needed for duration of construction. 7-6-23 & 12-4-23 for full-time for City construction and as-needed for remainder.	\$169,820	\$423,740	\$423,740
Storm Water Compliance Services			
<i>7-12-21 included as part of above line item. 7-6-23 & 12-4-23 seperated for City to complete SWPPP in-house</i>		\$22,080	\$22,080
Additional Construction Management Services Contingency			
<i>For any necessary professional services during construction not accounted for in the budget estimated at 20%-25% of construction management & support.</i>	\$42,455	\$33,964	\$84,748
Subtotal for Construction Phase	\$1,130,275	\$3,625,892	\$3,580,314
Combined Estimated Total	\$3,553,946	\$5,381,337	\$5,405,510

Sample Photos of Utility Equipment

AT&T HANDHOLE



SPECTRUM PEDESTAL 24" HIGH



SDG&E TRANSFORMER



SDG&E HANDHOLE



SDG&E TERMINATOR



TYPICAL SPECTRUM/CROWN CASTLE HANDHOLE



Summary of Retaining Walls

Pursuant to DMMC 23.33, proposed grading exceeding 25 cubic yards (cut or fill) outside of the footprint of any structure and/or grading that results in a permanent property elevation change exceeding 18 inches, shall require approval of a Land Conservation Permit (LC).

Adjacent Address	Wall Height	Grading Quantity	Grading Height
639 Stratford Ct.	3.55 feet	5.9 CY of cut	2.6 feet of cut
717 Stratford Ct.	3.56 feet	2.8 CY of cut	2.1 feet of cut
215 9 th St South (Stratford Ct. adjacent to Winston School)	4.19 feet	11.1 CY of cut	3.3 feet of cut
215 9 th St North (Stratford Ct. adjacent to Winston School)	3.8 feet	41.3 CY of cut	3.8 feet of cut
1105 Stratford Ct.	2.19 feet	6.5 CY cut	1.2 feet of cut
Total		67.6 CY	

NEW SDG&E
Transformer



NEW Retaining Wall
by City



NEW Spectrum
Round Pedestal



NEW Spectrum
Square Pedestal





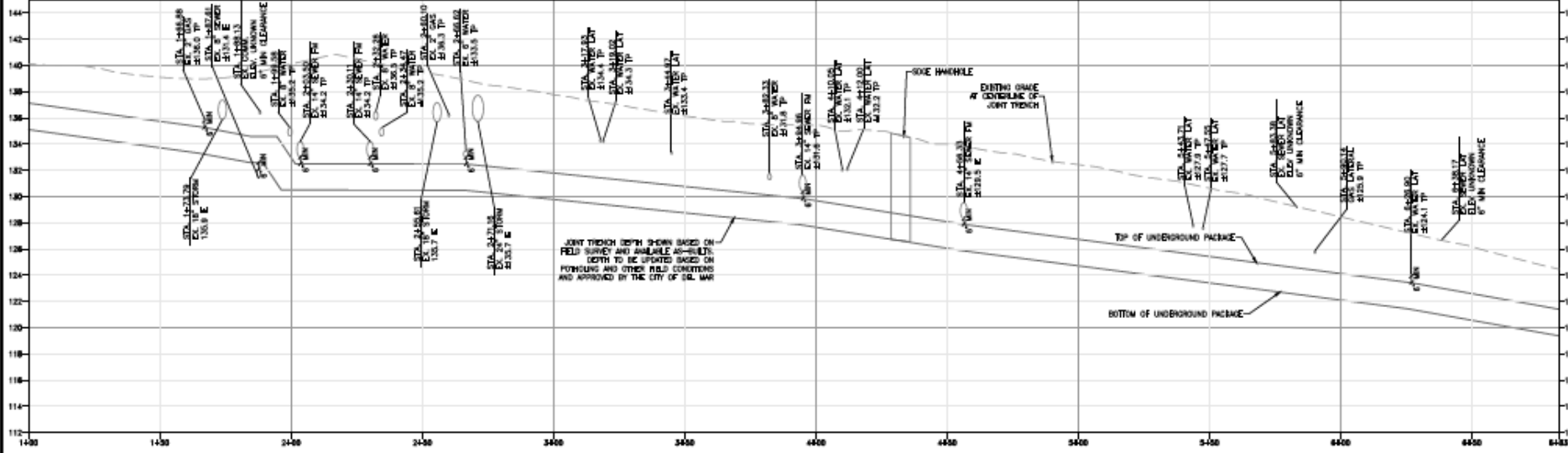
UNDERGROUNDING PROGRAM
EQUIPMENT IS LOCATED IN
ACCORDANCE WITH SDGE DESIGN
SAFETY REQUIREMENTS AND CANNOT
BE MOVED. EXHIBIT SHOWS NEW
ABOVEGROUND ONLY AND NOT
UPSIZED PEDESTALS OR HANDHOLES.



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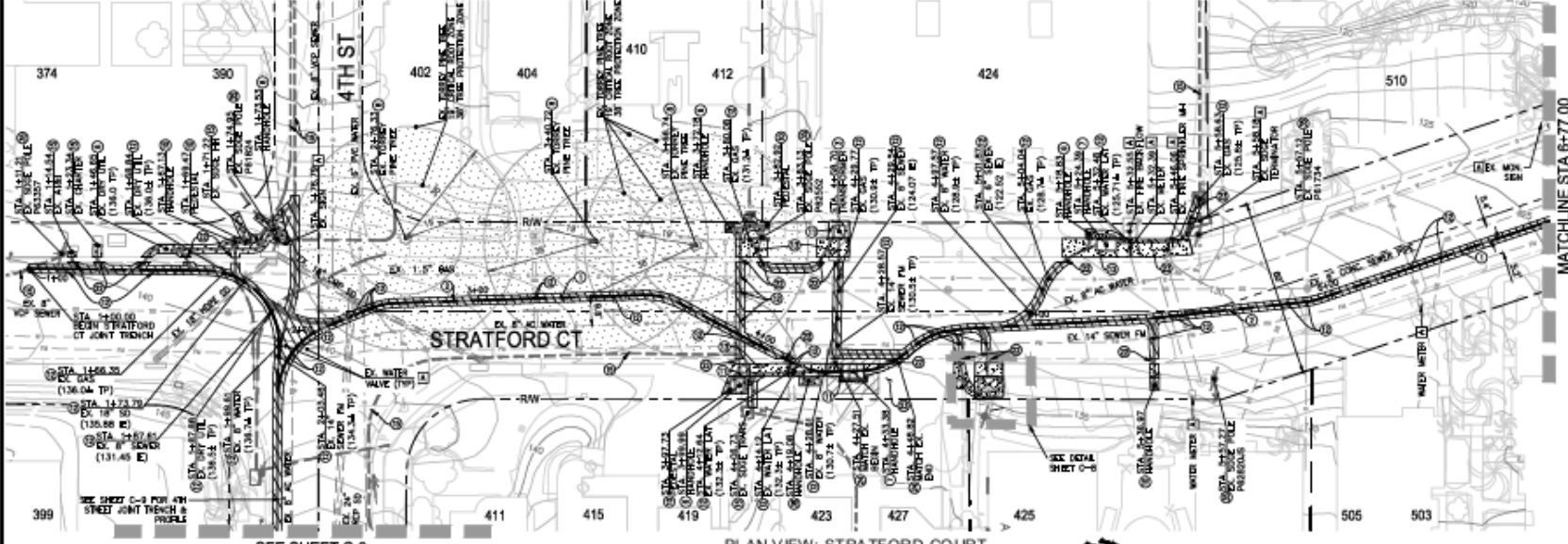


SEE SHEET C-3



KEY MAP
SCALE 1"=400'

PROFILE - JOINT TRENCH
HORIZONTAL SCALE 1"=60'
VERTICAL SCALE 1"=4'



PLAN VIEW: STRATFORD COURT
SCALE 1"=60'

MATCHLINE STA 6+77.00
SEE SHEET C-3

CONSTRUCTION NOTES:

- 1 TRENCH REPAIRING PER SERIES 0-244 AND 0-246, FOR STRATFORD COURT, REFER TO C-13, FOR FINISH PLAN.
- 2 PROPOSED DRY UTILITY DESIGN PER SDG&E PLANS
- 3 SDG&E TRANSFORMER PND
- 4 ATT MANHOLE
- 5 SDG&E MANHOLE
- 6 EXISTING MONTEREY CYPRESS OR TORREY PINE TREE TO REMAIN AND PROTECT IN PLACE. ALL EXCAVATION WITHIN CRITICAL ROOT ZONE PER PLAN MUST BE HAND-DIG UNDER CLOSEST SUPERVISION. ALL EXCAVATION IN TREE PROTECTION ZONE PER PLAN MUST BE OBSERVED BY ARBORIST.
- 7 SPENTRAN PENETRAL
- 8 HYDROSED MIX PER TECHNICAL PROVISIONS INCLUDING ANY NECESSARY FIBERGLASS REINFOR. PROTECT ALL TREES IN PLACE.
- 9 CONTRACTOR TO PORTABLE AND FIELD VERIFY LOCATION, DEPTH, AND SIZE PRIOR TO COMMENCING CONSTRUCTION
- 10 REPLACE 4" PVC SIDEWALK TO EXISTING JOINT PER SERIES 0-07
- 11 EXISTING DRY UTILITY
- 12 TRENCH PACKAGE SHALL TUNNEL UNDER CURB & GUTTER TO PROTECT IN PLACE
- 13 REPLACE CONCRETE DRIVEWAY AND ANY NECESSARY PAVEMENT, FLAGSTONE, GUTTER, OR HARDSCAPE IN ROAD TO NEAREST JOINT
- 14 REMOVE OR REPLACE 6" TYPE G CURB AND GUTTER PER SERIES 0-02
- 15 EXISTING SDG&E POLE TO BE REMOVED BY OTHERS
- 16 CROWN CASTLE DRY UTILITY STRUCTURE

DEMOLITION NOTES:

- 1 PROTECT IN PLACE

- GENERAL NOTES
1. ALL TREES THROUGHOUT PROJECT SHALL BE PROTECTED IN PLACE
 2. CONTRACTOR SHALL MAINTAIN MINIMUM CLEARANCE REQUIRED BY SDG&E. ADJUST TRENCH AS NEEDED DUE TO FIELD CONDITIONS.
 3. PROVIDE SAND CLEARANCE FOR UTILITY CROSSINGS WITH LESS THAN 12" OF VERTICAL CLEARANCE.
 4. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVeways DURING CONSTRUCTION.

REVISION	DESCRIPTION	APPROVED	DATE

SCALE	AS-SHOWN	DESIGNED	DRAWN	CHECKED
AGAO FILE NO.		P.C.	L.K.	M.L.
PROJECT NO.	4048-002	DATE	04/29/11	11/09/10
DRAWN BY		CHECKED BY		

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www.delmarca.gov

APPROVED
JOE BRIDE RICE 05/10/11
PUBLIC WORKS DIRECTOR

CITY OF DEL MAR
DISTRICT 1A CONVERSION IMPROVEMENT PLANS
STRATFORD CT IMPROVEMENT PLAN

DATE _____



SHEET
C-2
02 OF 19 SHEETS



CITY COUNCIL AGENDA QUESTIONS
DECEMBER 4, 2023

AGENDA ITEM 7 – UTILITY UNDERGROUNDING DISTRICT 1A – STRATFORD COURT SOUTH PROJECT PRE-BID UPDATE, APPROVAL OF DESIGN REVIEW PERMIT DRB23-024 AND LAND CONSERVATION PERMIT LC23-014, AND APPROVAL OF TASK ORDER AMENDMENT FOR UTILITY SPECIALISTS SOUTHWEST, INC.

1. Was the detail from 7-6-2023 CIP budget update made publicly available at the time? Or is this information being made public only now? Staff shared the estimated total cost publicly on multiple occasions (City Council 5/15/2023, CIP budget update 5/19/2023, City Council 10/16/2023). However, this level of detail is not provided as part of the CIP budget update. Staff has also previously explained that the construction cost estimate for the project was updated based on the Tewa Court/10th Street UUD actual costs, which is the basis for the primary change in construction cost.
2. The cost estimate of utility companies declined by \$700,000 from \$1,867,771 in 2021 to \$1,168,794 in 2023. Correct, based on Tewa Court/10th Street UUD the City only expects to pay AT&T for engineering and inspection and does not expect to incur any charges from Spectrum/Charter. This is the primary reason for the reduction.
3. Construction phase cost estimates more than tripled from \$1,130,275 in 2021 to \$3,580,314. As previously reported by staff, the updated cost estimate reflects additional data obtained from Tewa, increased prices due to the market, and more detailed engineering plans. The original estimate was based on linear feet of overhead and the unit costs from private work with a factor of increase for public work. The team is learning and obtaining data from each project to estimate the costs more accurately.
4. The staff report notes that the Stratford project has 7,650 linear overhead feet, and 9,135 feet of trench. Line item #11 of the engineer's estimate notes that there is 11,165 feet of joint trench at a cost of \$31.50 per foot, and a total cost of \$374,061. The agenda report should have reflected the updated number of 11,165 linear feet of joint trench. This updated number includes not only the mainline, but any secondary additional lines to equipment and/or stub-outs. 9,135 linear feet was an initial estimate based on the concept plans, not the more detailed engineering plans. Future projects will use information related to the amount of joint trench to ensure more accuracy in early cost estimates moving forward.
5. Utility Specialists' estimate in 2016 was 6,470 feet. This was a preliminary estimate based on the overall SDG&E facility map and existing overhead, and not detailed engineering plans.

6. Utility Specialists' estimate in 2019 was 7,300 feet. This was a preliminary estimate based on the overall SDG&E facility map and existing overhead, and not detailed engineering plans.
7. Council Member Quirk used a contractor's wheel to measure distances and measured 6,900 feet of trenching, including 3,400 ft along Stratford, 3,000 ft along intersecting streets, and 500 ft for cutovers. This number is not based on detailed engineering plans, and therefore cannot be counted on for accuracy.
8. Several other significant line items (12, 13, 25, 35, 44, 48) appear to have lengths that are all in excess of 10,000 feet, driven by the length of the trench. See staff response to Question 4.
9. Can staff please explain how the lengths in the engineer's estimate were calculated, particularly the 11,165 for the joint trench? The consultant measured the mainline and all additional secondary lines to equipment and stub-outs based on the detailed civil engineering plans.
10. Can staff explain the difference in unit costs (\$5.00 to \$13.46 per foot) for installing conduit? Does the price of the material or amount of work vary significantly depending on whether it is 1", 2", 3" or 4" conduit? The difference in unit costs vary based on agency, size, material specifications, and installation method.
11. Can staff explain how these conduits are arranged in the joint trench? The electric is placed on bottom of trench, there is 12" horizontal separation between electrical and communication conduit, and 30" of cover.
12. The engineer's cost estimate does not provide any insights into the costs of materials vs. labor. Is it possible to have the contractor provide the price for the major supplies such as handholes, concrete pads, stone, pedestals, vaults, and conduit? As has been explained previously, the California Public Contracts code requires contractors to submit unit and/or lump sum prices. These prices are not broken down by labor, materials, and equipment costs. These are incorporated into the costs. As such, all of the risk associated with these costs are assumed by the contractor, not the City. For example, if the job takes more labor hours than the contractor estimated, or the cost of equipment or materials is more than the contractor planned for, the contractor absorbs those costs, not the City. The only time the City has exposure (potential for cost increases) is when there are unknown conditions discovered during the project that were not identified in the bid documents and were not made known to the contractor for bidding purpose. When this happens, the City and contractor determine an agreed upon change to the scope and contract to account for these costs, typically based on unit prices.
13. If we can't get materials prices from the contractor, can our consultant provide information on bulk/wholesale prices for key materials?

Our consultant does not have this detailed information readily available. In order for the City's consultant to research and obtain this information, a change to their scope of work and additional funds for their services would need to be approved by the City Council. However, our consultant notes that generally the breakdown for construction cost is around 33% labor, 33% equipment, and 33% material.

14. What % of the \$3 million estimated contractor cost does staff estimate to be materials vs. labor? 10%? As noted in staff's response above, the City's consultant estimates generally the breakdown for construction cost is around 33% labor, 33% equipment, and 33% material. However, this varies on a project-by-project basis.
15. How many bids do we expect for the Stratford project? There is no way to estimate this, as the number of bidders is totally based on the competitive market, availability of other work in the region, contractor capacity, etc., all of which are factors outside of the City's control.
16. There appears to be wide variability in some line items between public works projects. Should there be more consistency across projects? The estimates vary based on project specifications and data available. Each project has different requirements. Consultant will use available data to estimate each project separately, based on the details of the specific project.
17. Why, for example, are the mobilization and storm water management estimates for the lagoon trail project so large compared to the Stratford project? The Riverpath project is more complex and requires multiple subcontractors and different equipment. This results in increased mobilization. Also, the Riverpath project is directly adjacent to the environmentally sensitive lagoon and thus requires more complex stormwater management and more BMPs. The undergrounding project is less complex in terms of construction and stormwater management.
18. What is potholing? Was it done for the Tewa project? Potholing involves digging in the roadway to obtain accurate information on the location of utilities at crossings with the improvements prior to performing work. Potholing was done as part of the Tewa Court/10th Street UUD project. Potholing alone does not prevent all potential impacts. A civil engineering design with vertical profiles updated with potholing data helps minimize impacts to existing utilities and to identify the proposed joint trench.
19. It appears there will be 335 potholes done by the contractor for Stratford. How is this information used or recorded? The contractor will gather this information in a potholing report. The report includes the location, utility, and depth. The City and contractor will use this information to verify and update the design and vertical profiles as needed prior to construction to minimize and/or eliminate impacts to existing utility lines.
20. What are the specifics that make up the vertical profile design? How does this differ from the "horizontal profile" design? The horizontal alignment/plan view shows the

alignment of the joint trench from above (i.e. bird's eye view) and is used to define the location of the joint trench with respect to other horizontal features (i.e. roadway centerline, curb & gutter, utilities, property lines, trees, etc.). The vertical profile shows the alignment of the joint trench in the vertical direction with respect to the proposed plan. The profile includes the joint trench vertical alignment (top and bottom), elevations, crossing utilities, clearances from those utilities, and existing grade (typically road surface).

21. Will the mainline trench stay primarily on one side of the street?

The mainline trench primarily stays on the east side of the street for Stratford Ct. However, it does meander in some locations to the center or west side of the street. The location of the mainline is determined based on SDG&E's design which considers existing utilities in the street which the mainline must maintain certain minimum horizontal clearances from and locations where equipment can be located.

22. Is it possible to install video "audit cameras" to monitor active construction sites for this project and other public works projects? Cameras are inexpensive and used for a range of different activities. Can cameras help to ensure that best practices are followed? This is not standard practice and would need to be a Council directive in order for staff to research/explore. While the cost of the actual camera and other related equipment may not be exorbitant, the City does not have staff to install or monitor cameras in work areas or review recorded footage. The City would need to contract out for this work, which would be an added cost to the project. It is important to note that there will be an onsite construction manager for the City present during construction activities to ensure work is completed timely, and as expected. The construction manager will also be taking daily photos of the work and including these in the site observation reports.

23. Is it possible to explore technology-based solutions to reduce traffic control costs for public works projects? (Del Mar is likely to spend \$300,000+ on traffic control over the next 2 years alone.) We are not aware of technology that could substitute for the required field traffic controls for this or other CIP projects. City Council authorization would be required to engage a traffic engineering consultant to analyze and report back.

24. What is the process for the 64 residents with laterals? The consultant develops and mails homeowner lateral exhibits to homeowners once SDG&E develops the preliminary design. The homeowner can coordinate with the consultant on the location of the lateral. Once SDG&E finalizes their design, the homeowner will obtain a service order from SDG&E to coordinate with a contractor. The homeowners will install the lateral once the City completes construction of the mainline and places a stub-out. SDG&E will then switch over properties from the overhead lines to the new underground systems.

25. Is the goal to have residents in zone 1 start working on their laterals as soon as the City is done with its construction in zone 1 (i.e. about 3 months into 7-month total construction timeline)? **Yes, individual homeowners are responsible for coordinating installation of their laterals with their selected contractor once the City is done with the respective zone. Each zone takes just over two months for City construction.**
26. Are these residents communicating with each other to do things like identify contractors and coordinate timing of work so that it occurs quickly and efficiently? **Yes, the City is working to help facilitate homeowner to homeowner contacts and sharing of information. However, to date, we have only received permission to share their contact information from a couple of homeowners. We will continue homeowner outreach on this front in hopes of getting permission to share information from a larger group of area residents.**
27. Are there any identified “block captains” or resident organizers? **No, the City is providing project information equally to all area residents and will be the primary point of contact for project information.**
28. It is my understanding that the Stratford project is being designed and constructed in three geographic zones. When did staff receive phase 1 of the design from SDG&E for the engineering for zone 1? (My understanding is that it was December of 2022.) **Phase 1 preliminary SDG&E designs were received by the City in November 2022.**
29. When did staff receive SDG&E designs for zones 2 and 3? **Phase 2 & 3 preliminary SDG&E designs were received by the City in April 2023.**
30. How many hours were estimated for Fuscoe to do the civil design for Stratford? (I believe it is 880 hours, or about 5 months.) **Fuscoe estimates 880 hours. However, these do not translate directly into consecutive work hours.**
31. Was it possible for Fuscoe to start working on the civil design for zone 1 as soon as they received the preliminary design from SDG&E for zone 1? Did they do this? **Yes, Fuscoe starts the civil design as soon as SDG&E provides the preliminary design.**
32. It is December 2023, 11 months after receiving zone 1 from SDG&E. If Fuscoe started work in January, it seems that Fuscoe could have been done with civil design in July or August. **As previously explained by staff in writing and during prior public discussion, Fuscoe’s hours do not translate into consecutive work hours. There are more steps to the design process which are outlined below. It should be noted that SDG&E/AT&T/Spectrum/Crown Castle need to prepare final designs while the City is completing the civil design. Thus, expedited civil design preparation does not translate directly to an overall expedited schedule.**

1. SDG&E prepares design plans at multiple design milestones (preliminary, 60%, 90%, and 100%). Utility Specialists and staff review the plans at the various stages, provide comments, and coordinate with SDG&E.
 2. The other utility companies begin preparation of their respective plans at multiple design milestones once SDG&E provides the preliminary design plans. Utility Specialists review the plans at the various stages, provide comments, and coordinate with the utility companies.
 3. Fuscoe begins preparation of the civil plans once SDG&E provides the preliminary design plans. The City reviews the civil design plans at specific design milestones (e.g. 30%, 60%, 90% complete). The City reviews the civil design plans for the entire district and not by zone, because the final package will be for the entire district. Fuscoe cannot proceed with the next phase of design activity until the City has reviewed and provided comments (which need to be addressed as part of the next submittal) or approved the current design work. This process is standard engineering practice.
 4. Utility Specialists and KCM Group coordinate with homeowners on laterals and easements. Any coordination with homeowners will need to be reflected on the plans.
33. How many hours of civil design work has Fuscoe completed on Crest? Fuscoe has completed approximately 33% of their estimated 1,360 civil design hours, and are working towards 1st City plan submittal for UUD X1A (Crest Canyon).
34. What is the process for civil design for future projects? Will staff wait until it gets the entire SDG&E design, or will staff start on civil design as it gets each zone? Fuscoe will proceed with each zone, however each design submittal to the City will be for the entire district.
35. What is the estimated length of time for City construction for Stratford? Is it 7 months? Yes, 7 months.
36. If City construction is 7 months, why does the estimate in the staff report state 18 months for construction management and include an amount of \$423,740? At an hourly rate of \$175, this translates to 2,421 hours, or around 14 months. Can staff address this? The 18-months included in the agenda report is a typo. The entire construction duration (City construction, homeowner laterals, and utilities) is expected to take 12 months for UUD 1A and 18 months for UUD X1A.

The City's consultants have assumed one onsite project manager full time during City construction and part time during homeowner lateral installations and agency wire pull/pole removals. There will be additional office support staff during the 12 months, as well, since not everything that needs to be done to manage the project can be done

from the field. Some of the cost is also for Utility Specialist technical support, Fuscoe staking, and construction punch list/closeout services after the work is complete.

37. For the Stratford project, which is much larger than the Tewa project, is it expected that the contractor will provide a daily oversight/manager person for the project?

Yes

38. Can staff address timelines of projects? Currently, the staff report timeline shows City construction for Crest (11-month duration) finishing on 7/15/2025 and City construction for Stratford north, starting 6 months later on 1/26/2026. Why is there a gap of 6 months? This is based on SDG&E's expected 24-month design schedule, hence there will be a gap in City construction of the two areas UUD 1A/ UUD X1A). We previously estimated SDG&E's design schedule at 18 months, which SDG&E has made clear is not possible and all projects moving forward should include 24 months minimum for SDG&E design.

39. Based on the Stratford timeline, we are looking at 33+ months from today to start construction for the next project, August 2026. Stratford north is a fairly small project (56% the size of Stratford south) and could have city construction done in 4 months, or May 2026. There appears to be a potential gap already of 3+ months. If this is correct, can we look to start the process for the next project, the beach area, as soon as possible? City construction is estimated at 5 months. Staff is looking to start the next district , UUD 2, at the start of next year and plans to bring a task order for Council consideration at one of the next two City Council meetings.

PROOF OF PUBLICATION (2015.5 C.C.P.)

State Of California,
County of San Diego

I am a citizen of the United States and a resident of the County aforesaid: I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am an authorized representative of

Del Mar Times

a newspaper of general circulation, printed and published weekly in the County of San Diego, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of San Diego, State of California, under the date of 05/28/2010, Case Number #37-2010-00051582-CU-PT-NC; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of the said newspaper and not in any supplement thereof on the following Dates, to-wit:

November 16, 2023

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Dated: **November 16, 2023**

At: **San Diego, California**



Signature

Cris Gaza

UT Community Press

CITY OF DEL MAR NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on Monday, the 4th day of December, 2023, at 4:30 p.m., (or as soon thereafter as practicable) in the City of Del Mar Town Hall, 1050 Camino del Mar, Del Mar, California, the City Council will conduct a public hearing on the following:

**DRB23-024
LC23-014**

Project Name: Construction of Retaining Walls Required as Part of the Utility Undergrounding District 1A (Stratford Court South) of the City's Undergrounding Program

Location: City Right-of-Way adjacent to 639 Stratford Ct., 717 Stratford Ct, 215 9th Street (Stratford Ct. adjacent to Winston School Property), and 1105 Stratford Ct.

Owner/Applicant: City of Del Mar

Environmental Status: Pursuant to the California Environmental Quality Act (CEQA), the proposed project has been analyzed and determined to be Categorically Exempt pursuant to CEQA Guidelines Section 15302(d) (Class 2) in that the project includes the undergrounding of public utilities where the surface will be restored to the existing condition, and CEQA Guidelines Section 15304 (Class 4) in that any grading required to provide access to utilities constitutes a minor alteration in the condition of the land. The proposed project has been designed based on recommendations in an Arborist's Report titled "City of Del Mar Assessment of Torrey Pines" prepared by West Coast Arborists, dated June 3, 2021, to avoid impacts and/or the removal of healthy, mature, scenic trees as a result of the proposed activities (report is on-file with the City of Del Mar, 1050 Camino del Mar, Del Mar, CA 92014). It has further been determined that none of the six exceptions to the use of a categorical exemption would apply to this project (CEQA Guidelines Section 15300.2) and the project has been designed to avoid sensitive environmental resources.

Description: A request for Design Review and Land Conservation Permits for grading and retaining walls in the Right-of-Way in order to create flat areas to locate undergrounded utility facilities as part of the Citywide Utility Undergrounding Program. For more information on the Utility Undergrounding Program, visit www.delmar.ca.us/up.

PLEASE NOTE THE DISCRETIONARY PERMITS WILL BE CONSIDERED BY THE CITY COUNCIL AS PART OF A LARGER UNDERGROUNDING PROJECT ITEM TITLED: "Utility Undergrounding District 1A (Stratford Court South) - Project Pre-Bid Update and Related Recommended Actions"

Those desiring to be heard in favor of or in opposition to this item will be given an opportunity to do so by participating in City Council meetings remotely or in-person by addressing the City Council for up to three minutes or by submitting a written comment. **Person Participation:** Please submit a completed "Speaker Slip", including the item number you wish to speak on, to the City Clerk prior to the Mayor announcing the agenda item. The forms are located near the door at the rear of the Meeting Room. When called to speak, please approach the podium and state your name for the record. **Remote Participation:** Members of the public can participate in the meeting remotely using the Zoom link and/or dial-in information provided below. Those wishing to comment live should join the Zoom meeting when the item(s) they wish to speak on is announced or at the meeting start time for items not on the agenda. **Zoom Link:** <https://us02web.zoom.us/j/84790910014>; **Phone:** (669) 900-6833; **Meeting ID:** 847 9091 0014

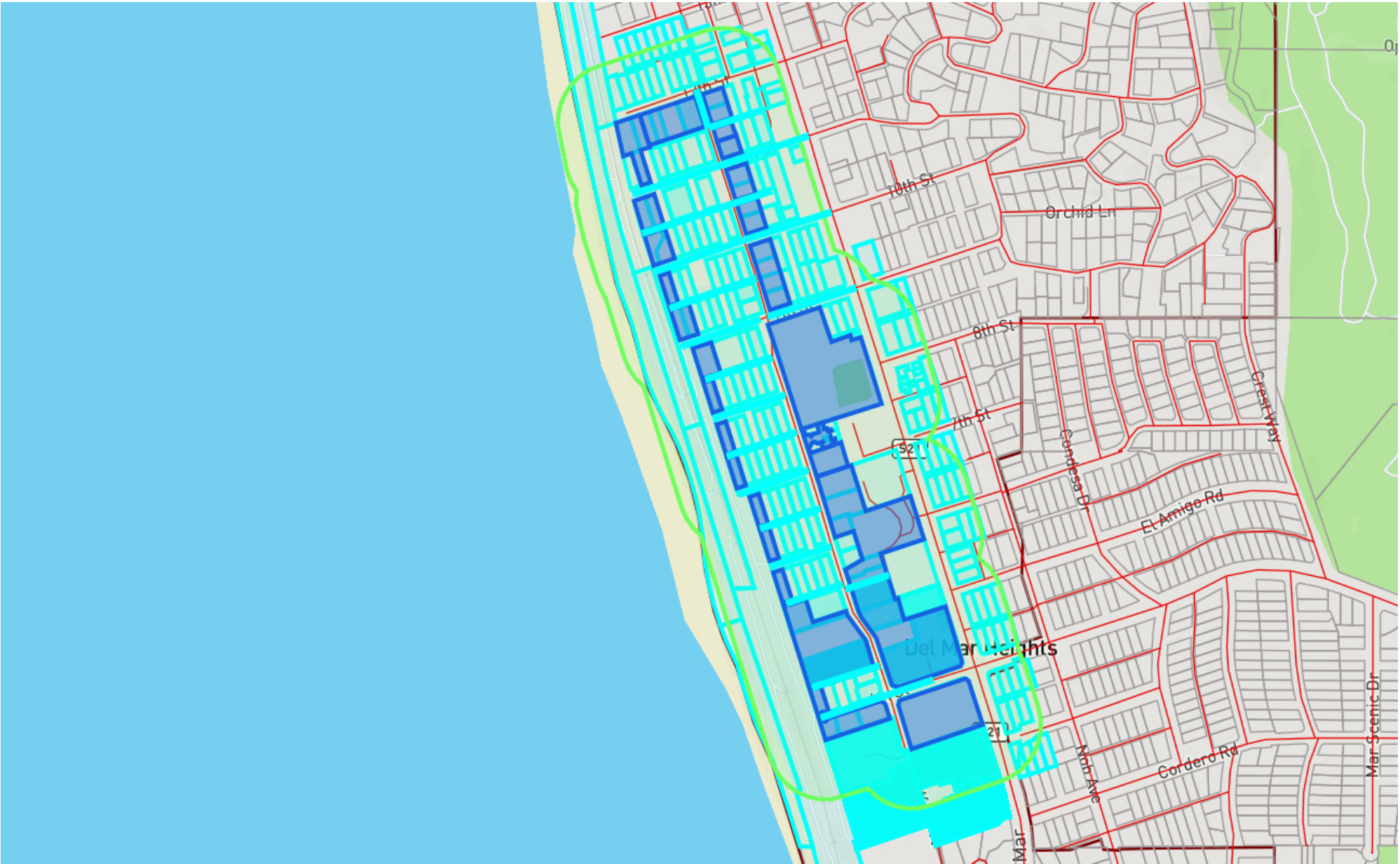
Written Comments: Members of the public can participate in the meeting by submitting a written red dot comment via email to cityclerk@delmar.ca.us. The deadline to submit written comments is 12 p.m. on the day of the meeting and the subject line of your email should clearly state the agenda item you are commenting on.

If you have questions about the information in this notice, please contact Jennifer Gavin, Associate Planner, Email: jgavin@delmar.ca.us, Phone: 858-793-6148.

Under California Government Code 65009, if you challenge the nature of the proposed action in Court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or written correspondence delivered to the City at, or prior to, the public hearing.

/s/ Sarah Krietor, Administrative Services Manager/City Clerk
Date: November 8, 2023
DM7960450 11.16.2023

1A Mailing- District + 300'



1" = 829 ft	Sub Title	10/20/2023	
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This map may represent a visual display of related geographic information. Data provided here on is not guarantee of actual field conditions. To be sure of complete accuracy, please contact the responsible staff for most up-to-date information.

AddressLine1	AddressLine2	AddressLine3	AddressLine4
3002220401	SANDERS MONIQUE	325 9TH ST	DEL MAR CA 92014
3002223100	K C CAMINO DEL MAR LLC	1000 JACKS RUN RD #1	N VERSAILLES PA 15137
3001722100	LEICHTLING CADY FAMILY TRUST 02-04-10	903 STRATFORD CT	DEL MAR CA 92014
3001712100	REAL FREEDOM LLC	6600 KOLL CENTER PKWY #210	PLEASANTON CA 94566
3001711901	BRANCO-KATCHER FAMILY TRUST 11-29-00	920 STRATFORD CT	DEL MAR CA 92014
3002213400	FIRST NEW DAY LLC	915 CAMINO DEL MAR #200	DEL MAR CA 92014
3001721700	P D S DEL MAR L L C	910 CAMINO DEL MAR #A	DEL MAR CA 92014
3001720900	LEVAK FAMILY TRUST 07-15-10 C/O RICHARD LEVAK	240 9TH ST	DEL MAR CA 92014
3001721000	FREEBERN CHARLES L TRUST 05-19-00	9411 MOLOKAI DR	HUNTINGTN BCH CA 92646
3001720301	CARROLL REBECCA L	231 10TH ST	DEL MAR CA 92014
3001720302	MENDENHALL GEORGE S	233 10TH ST	DEL MAR CA 92014
3001721300	ANGELLO ROBERT&KATHY TRUST 02-11-00	745 BARBARA AVE	SOLANA BEACH CA 92075
3001720400	LES ARTISTES HOLDINGS LLC	944 CAMINO DEL MAR	DEL MAR CA 92014
3001721200	MCGUIRE 2010 TRUST 01-20-10	222 9TH ST	DEL MAR CA 92014
3001720102	DONNELLY FAMILY 2010 TRUST 06-01-10	950 BLAIR CT	PALO ALTO CA 94303
3001722000	HILLMANN 2019 TRUST 08-27-19	P O BOX 2341	DEL MAR CA 92014
3001721800	MACK STEVEN REVOCABLE TRUST	P O BOX 370997	LAS VEGAS NV 89137
3000931400	EHRENFELD FAMILY TRUST 11-28-11	220 10TH ST	DEL MAR CA 92014
3001711700	BROWN DOROTHY M TR (DCSD) C/O MARK BROWN	6447 SURFSIDE WAY	MALIBU CA 90265
3001710701	DRUKER DAVID S&KRISTEN H	157 10TH ST	DEL MAR CA 92014
3001710600	SACOO JOSEPH&ANGELA TRUST 07-12-07	14137 CAMINITO VISTANA	SAN DIEGO CA 92130
3000930900	GRANT DANNYÐEL	1005 STRATFORD CT	DEL MAR CA 92014
3000930800	DG BOLITHO LLC	200 PENNY LN	DEL MAR CA 92014
3000941800	BECKHAM GREGORY LIVING TRUST 08-15-16	14153 RECUERDO DR	DEL MAR CA 92014
3000931200	BOA SORTE LTD PARTNERSHIP	1819 E SOUTHERN AVE #B10	MESA AZ 85204
3000920901	DUTIA-GREWAL TRUST 01-09-15	234 11TH ST	DEL MAR CA 92014
3000931101	GUPTA MALINI TRUST 01-12-16	217 11TH ST	DEL MAR CA 92014
3000931102	MUHLKE KAROLEN L LIVING TRUST 11-05-02	219 11TH ST	DEL MAR CA 92014
3000931000	ABITBOL JEAN-JACQUES LIVING TRUST 12-17-08	1047 STRATFORD CT	DEL MAR CA 92014
3000921000	GROSS FAMILY TRUST 02-09-06	1604 SAN DIEGUITO DR	DEL MAR CA 92014
3000922200	BURNS SURVIVORS LIVING TRUST 10-03-90 C/O ROXANNE WHITMEY	1521 W VIRGINIA AVE	PHOENIX AZ 85007
3000922000	MCGUIRE SURVIVORS TRUST 04-17-85 C/O MARY MCGUIRE	P O BOX 2949	DEL MAR CA 92014
3000921500	BRIGGS&BRIGGS L L C	1039 SHAFER ST	OCEANSIDE CA 92054
3000920700	GOLDEN HAROLD P&JEAN M TRUST 10-31-98	28591 MALABAR RD	TRABUCO CYN CA 92679
3000740600	DEL MAR SB LLC	6330 VARIEL AVE #201	WOODLAND HLS CA 91367
3000740700	J J&N ENTERPRISES INC	1212 CAMINO DEL MAR	DEL MAR CA 92014
3000920300	YOUNG CHILDRENS TRUST 12-23-92	14219 MANGO DR	DEL MAR CA 92014
3000920100	MCMILLAN FAMILY TRUST 11-18-93	203 12TH ST	DEL MAR CA 92014
3000921800	MCGREAL FAMILY TRUST 01-14-15	1135 STRATFORD CT	DEL MAR CA 92014
3000740500	BARON RANDALL&KANDACE 2004 TRUST 03-25-04	4905 BRADSHAW CT	SAN DIEGO CA 92130
3000740300	WAHN UDO TRUST 10-06-93	1227 STRATFORD CT	DEL MAR CA 92014
3001710500	CETEL WEISS FAMILY TRUST 02-02-84	18422 CALLE LA SERRA	RCHO SANTA FE CA 92091
3001710300	HUBER CHRISTOPHER R SEPARATE PROPERTY TRUST 07-10-	7514 GIRARD AVE #1539	LA JOLLA CA 92037
3001710202	SCOLA STEPHEN J TRUST 09-16-04	113 MELANIE WAY	DEL MAR CA 92014
3001710201	SCRIPPS RANCH EQUITIES INC	10256 MEANLEY DR	SAN DIEGO CA 92131
3000941502	DEJONG TOM&SUSAN FAMILY TRUST 06-27-90	14400 S AIRPORT RD	BUCKEYE AZ 85326
3000940902	HOFFMEISTER INGRID M&GERALD E LIVING TRUST 01-19-2	146 10TH ST	DEL MAR CA 92014
3000941002	CURTIS SEAN M SEPARATE PROPERTY TRUST 01-15-01	138 10TH ST	DEL MAR CA 92014
3000941001	FOUNTAS CHRISTOPHER N	2290 W FAWSETT RD	WINTER PARK FL 32789
3000941100	ISAACSON FAMILY TRUST 10-23-89	128 10TH ST	DEL MAR CA 92014
3000942000	MARKEE-BOLEY FAMILY TRUST 05-22-95	100 10TH ST	DEL MAR CA 92014
3000941200	PETERS FAMILY TRUST 01-11-73	120 10TH ST	DEL MAR CA 92014
3000940200	DEL MAR 107 LLC	105 FREMONT AVE #A	LOS ALTOS CA 94022
3000940700	BOLITHO TRUST 09-23-10	149 11TH ST	DEL MAR CA 92014
3000942304	MONAHAN GREGORY D REVOCABLE TRUST 04-12-02	119 11TH ST	DEL MAR CA 92014
3000942301	LEOPOLD FAMILY REVOCABLE TRUST 04-02-92 C/O SUSSMAN & ASSOCIATES	700 12TH AVE S #201	NASHVILLE TN 37203
3000942302	MONROE FAMILY TRUST 01-02-91	123 11TH ST	DEL MAR CA 92014
3000911600	DAVIS GEORGE S&NANCY N FAMILY TRUST 04-22-97	1104 STRATFORD CT	DEL MAR CA 92014
3000912100	BINGHAM FAMILY TRUST 02-25-99	140 11TH ST	DEL MAR CA 92014
3000911001	S B PROPERTIES LP	P O BOX 600	SOLANA BEACH CA 92075
3000911201	H&M TRUST 09-03-15	116 11TH ST	DEL MAR CA 92014
3000911202	FRIEDMAN RICK A&KARI ELINA REVOCABLE TRUST	118 11TH ST	DEL MAR CA 92014
3000911700	TARKINGTON FAMILY TRUST 12-08-98	P O BOX 766	DEL MAR CA 92014
3000911100	LUNSFORD JEFFREY W&KERRIE S	P O BOX 2291	RCHO SANTA FE CA 92067
3000910400	BALDWIN FAMILY TRUST 04-08-21	119 12TH ST	DEL MAR CA 92014
3000910200	SAFLEY FRANK JR&DEBORAH S	111 12TH ST	DEL MAR CA 92014
3000910100	GERRITY FAMILY TRUST 09-30-99	1045 METEOR PL	CASTLE ROCK CO 80108
3000921700	GIEBINK JOHN W&MARY P	1145 STRATFORD CT	DEL MAR CA 92014
3000912002	GLAZE RAYMOND A&JANET L FAMILY EXEMPTION TRUST 04-	PMB 204	1822 E ROUTE 66 #A GLENDORA CA 91740
3000912001	TAYLOR FAMILY 1988 TRUST 12-22-98	2145 LA AMATISTA RD	DEL MAR CA 92014
3000912004	ROTHENBERG FAMILY TRUST	P O BOX 977	DEL MAR CA 92014
3000721600	1206 STRATFORD LLC	1155 CAMINO DEL MAR #517	DEL MAR CA 92014
3000721700	ROSE CHILDREN IRREVOCABLE TRUST C/O PATRICIA ROSE	48 BILTMORE EST	PHOENIX AZ 85016
3000721900	GILDING JEROME&TRINA LIVING TRUST 06-19-98	16555 LA GRACIA 1691	RANCHO SANTA FE CA 92067
3000721502	MARTIN LASCOLA FAMILY TRUST 03-17-11	1220 PACIFIC LN	DEL MAR CA 92014
3000721501	1224 PACIFIC LANE LLC C/O DOUGLAS N IIDA	P O BOX 2668	DEL MAR CA 92014
3000721402	WALSHOK MARY L TRUST 02-16-00	150 12TH ST	DEL MAR CA 92014
3000720800	DIXON LIVING TRUST 08-06-19	128 12TH ST	DEL MAR CA 92014
3000720902	COSEER HOSPITALITY LLC	9017 N HARBORVIEW DR	GIG HARBOR WA 98332
3000721000	SMITH JAMES M&ROSEMARY C	112 12TH ST	DEL MAR CA 92014
3000720600	BELK TRUST 07-22-98	1155 CAMINO DEL MAR	DEL MAR CA 92014
3000721200	KURDZIEL EDWARD G JR TRUST 03-14-02	157 13TH ST	DEL MAR CA 92014
3000720501	BLUMENFELD FAMILY TRUST 02-21-93	9000 W 3RD ST #504	LOS ANGELES CA 90048
3000720502	ROBSON LESLIE LIVING TRUST 04-15-14 C/O KEVIN JOHN WHALEY	147 13TH ST PO BOX 308	DEL MAR CA 92014
3000720402	BERNARD LYNN E TRUST 03-26-08	P O BOX 1150	DEL MAR CA 92014
3000720300	MORGAN WILLIAM P JR&GRETCHEN	125 13TH ST	DEL MAR CA 92014

3000721302 CRIQUI FAMILY TRUST 01-12-11	167 13TH ST	DEL MAR CA 92014
3000722600 LOOMIS WILLIAM F JR FAMILY TRUST 07-25-00	104 12TH ST	DEL MAR CA 92014
3000722500 HANDZEL MARK QUALIFIED PERSONAL RESIDENCE TRUST 12	100 12TH ST	DEL MAR CA 92014
3000720201 121 DEL MAR LLC	350 S GRAND AVE #2200	LOS ANGELES CA 90071
3000722200 FOLDING DOOR TRUST 04-29-19 C/O JONATHAN CORN	P O BOX 7295	RCHO SANTA FE CA 92067
3003450400 SCHWEAR PAULA TRUST 11-14-01	2043 DE MAYO RD	DEL MAR CA 92014
3003214800 DEL MAR WOODS	1660 N HOTEL CIR #200	SAN DIEGO CA 92108
3003215649 JOHNSON CARL&LAURA FAMILY TRUST 05-08-06	13386 WINSTANLEY WAY	SAN DIEGO CA 92130
3003215642 WEISS SHIRLI F TRUST 09-22-09	P O BOX 3268	RANCHO SANTA FE CA 92067
3003215639 BECKER FAMILY BYPASS 1984 TRUST 01-20-84	4205 VICASA DR	CALABASAS CA 91302
3003215635 ESPINOZA OCTAVIO&ERIN L	5421 CAMINITO EXQUISITO	SAN DIEGO CA 92130
3003215632 HANES MARILYN M 1998 TRUST 08-19-98	251 STRATFORD CT	DEL MAR CA 92014
3003215623 TESTA GABRIELE M&CARRADERO CATHERINE	1392 MONTEROSSO ST	DANVILLE CA 94506
3003215619 DOHONEY CHARLES I JR&ELIZABETH J	6035 78TH AVE SE	MERCER ISLAND WA 98040
3003215612 SHEEHAN PATRICK J&PETERSEN VALERIE E C/O SAUDI ARAMCO	P O BOX 5671	DHAHRAN 31311 00000
3003215603 PINNEY SEAN&JENNIFER S	112 FROST CT	WYCKOFF NJ 07481
3003215641 DUNCAN SHELLEY J REVOCABLE TRUST	114 SPINNAKER CT	DEL MAR CA 92014
3003215637 HUNT JUDY C	P O BOX 2182	DILLON CO 80435
3003215617 SANS SOUCIS TRUST 06-21-21	234 DOLPHIN COVE CT	DEL MAR CA 92014
3003215616 CLENDANIEL DEBORAH L 2014 TRUST	55 ALCOTT RD	CONCORD MA 01742
3003215608 NEWELL JUDY A FAMILY TRUST 10-13-15	242 DOLPHIN COVE CT	DEL MAR CA 92014
3003215645 HEYLER RANDALL&KELLY FAMILY TRUST 12-06-00	18 SEABLUFF	NEWPORT BEACH CA 92660
3003215634 QUINTAS FAMILY LIVING TRUST 12-06-00	3357 PAR DR	OCEANSIDE CA 92056
3003215615 EMTAGE JOHN S REVOCABLE TRUST 07-08-05	232 DOLPHIN COVE CT	DEL MAR CA 92014
3003215614 ABLER CHARLES V	236 DOLPHIN COVE CT	DEL MAR CA 92014
3003215662 ATCHESON&FRITZE TRUST 06-13-18	2160 SANTA CLARA AVE	ALAMEDA CA 94501
3003215650 MIDDLETON FRED	1300 S EL CAMINO REAL #203	SAN MATEO CA 94402
3003215646 BERNSTEIN GRAHAM SEPARATE TRUST 02-11-15	108 SPINNAKER CT	DEL MAR CA 92014
3003215636 SYMANS WILLIAM&ADRIENNE	261 STRATFORD CT	DEL MAR CA 92014
3003215630 DUMKA FAMILY TRUST 06-23-22	249 STRATFORD CT	DEL MAR CA 92014
3003215628 COPPAGE THOMAS T	224 DOLPHIN COVE CT	DEL MAR CA 92014
3003215621 SNIDER-BENNETT TRUST 10-13-18	258 SURFVIEW CT	DEL MAR CA 92014
3003215660 HAUSER GARY&LAURIE	1005 CALLE DE LOS ARBOLES	SAN CLEMENTE CA 92673
3003215656 AMBROSE DIANA W SEPARATE PROPERTY TRUST 12-13-99	121 SPINNAKER CT	DEL MAR CA 92014
3003215624 KROPF SUZANNE M TRUST 03-27-09	288 DOLPHIN COVE CT	DEL MAR CA 92014
3003215605 KENDALL ANNE D	300 DOLPHIN COVE CT	DEL MAR CA 92014
3003215604 MAHAJAN SURESH LIVING TRUST 10-16-03	292 DOLPHIN COVE CT #177	DEL MAR CA 92014
3003215651 CAINE SHAWN&MAUREEN FAMILY TRUST 10-01-15	1221 CAMINO DEL MAR	DEL MAR CA 92014
3003215644 HOFFMAN JOHN J FAMILY TRUST 12-22-97 C/O JAMES C HOFFMAN	404 W PALM DR	ARCADIA CA 91007
3003215638 KILLEEN PATRICIA A TRUST 07-28-92	128 SPINNAKER CT	DEL MAR CA 92014
3003215631 ERSHLER DEBORAH A REVOCABLE 2012 TRUST 12-18-12	247 STRATFORD CT	DEL MAR CA 92014
3003215626 STEPHEN-HERMAN FAMILY TRUST 06-09-14	2346 ALDER ST	EUGENE OR 97405
3003215661 BEKKAR BRUCE	127 SPINNAKER CT	DEL MAR CA 92014
3003215658 CHIEM ZHOU TRUST 03-22-17	5541 E SHADOW RIDGE DR	TUCSON AZ 85750
3003215655 LEVE ROBERT E SURVIVORS TRUST 04-12-88	119 SPINNAKER CT	DEL MAR CA 92014
3003215659 ANSTADT FAMILY TRUST 04-14-06	25266 STAGELINE DR	LAGUNA HILLS CA 92653
3003215652 CONROY MARY TRUST 05-02-95	107 SPINNAKER CT	DEL MAR CA 92014
3003215640 MURRAY FAMILY TRUST 08-24-92	124 SPINNAKER CT	DEL MAR CA 92014
3003215627 ROSE TRUST 05-25-17	228 DOLPHIN COVE CT	DEL MAR CA 92014
3003215610 KIM KYUNGAH E REVOCABLE TRUST 10-18-22	244 DOLPHIN COVE CT	DEL MAR CA 92014
3003215607 HAIDET GREGORY A&KATHLEEN O	5016 WINCHELL CT	DUBLIN OH 43017
3003215653 VEERAPONG JULA	131 SPINNAKER CT	DEL MAR CA 92014
3003215648 STAHL JOHN K	102 SPINNAKER CT	DEL MAR CA 92014
3003215643 SMITH JACK E DECEDENTS TRUST 03-07-89 C/O LAUREN RITMAN TR	288 SURFVIEW CT	DEL MAR CA 92014
3003215633 SELIN FAMILY TRUST 11-01-79	3 PASARELA DR	RMV CA 92694
3003215629 STAHL SUSAN M SOLE&SEPARATE PROPERTY TRUST 10-06-0	4376 HORIZON DR	CARLSBAD CA 92008
3003215625 NEENAN DAVID G REVOCABLE TRUST 11-25-13	1606 BRENTFORD LN	FORT COLLINS CO 80525
3003215622 LAZARUS&HAMANN LIVING TRUST 12-20-99	232 BEACON ST #6	BOSTON MA 02116
3003215613 FRATANGELO DAWN M	523 COUNTY ROUTE 13	OLD CHATHAM NY 12136
3003215609 CABRERA MATILDE FAMILY TRUST 11-03-04	250 DOLPHIN COVE CT	DEL MAR CA 92014
3003215602 GANAPATHY KAUSHIK R	290 DOLPHIN COVE CT	DEL MAR CA 92014
3003215620 CAMILLE SULLIVAN FAMILY LIVING TRUST	8 BILTMORE EST #311	PHOENIX AZ 85016
3003215618 CYR LOPEZ TRUST 01-23-08	23840 N 119TH PL	SCOTTSDALE AZ 85255
3003215611 BRADLEY FAMILY TRUST 10-15-99	64/F ONE ISLAND EAST	18 WESTLANDS RD ISLAND EAST HONGKONG 00000
3003215606 GARSH RONALD&BRIDGET	29289 REGENCY CIR	WESTLAKE OH 44145
3003450300 LEE FAMILY TRUST 02-11-98	2031 DE MAYO RD	DEL MAR CA 92014
3003450200 KNEE SIMON&DEBORAH FAMILY TRUST 06-20-17	2017 DE MAYO RD	DEL MAR CA 92014
3003450100 GILL FAMILY TRUST 07-28-09	5539 RIVERTON AVE	N HOLLYWOOD CA 91601
3003451300 KOONTZ REVOCABLE TRUST 02-22-10	2001 DE MAYO RD	DEL MAR CA 92014
3003412100 LAZAR FAMILY TRUST 11-19-90	2030 DE MAYO RD	DEL MAR CA 92014
3003411900 KULL FAMILY TRUST 06-22-11	5627 HIGHVIEW DR	ERIE CO 80516
3003411500 BERG-ZORN SHERRI L TRUST 08-22-12	2004 DE MAYO RD	DEL MAR CA 92014
3003410900 DESIDERIO MIWAKO REVOCABLE TRUST 06-22-99	2041 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003411400 VAUGHAN LUKE M TRUST 02-21-18	2029 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003411100 SIGESMUND MARSHALL C&LESLIE S TRS	2017 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003332200 DEICHAITE IDA N	318 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003411200 ROMERO DEROBERTS TRUST 06-23-22	2005 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003331500 SWIECH EUGENE&CULLEN DAWN M	314 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003331600 MAGOULIAS HARRY J&ARIADNE M TRUST 10-05-91	310 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003331700 GILLEON SUSAN J	306 DEL MAR HEIGHTS RD	DEL MAR CA 92014
3003214638 PARRY FAMILY TRUST 05-29-01	707 S MADISON AVE	PASADENA CA 91106
3003214626 WHITE DENNIS E&ONFFROY JOAN R	464 FORD RD #406C	MINNEAPOLIS MN 55426
3003214622 RAUBER PETER H (DP) AKA RAUBER P	5219 133RD ST SE	EVERETT WA 98208
3003214608 DOMISSY ALAIN TRUST 07-29-20	275 STRATFORD CT	DEL MAR CA 92014
3003214607 DUVAL DAVID&ANN TRUST 08-16-19	271 STRATFORD CT	DEL MAR CA 92014
3003214624 LAM JOELLE	4118 PARK BLVD	PALO ALTO CA 94306
3003214619 WILMOT FAMILY TRUST 03-14-12	9510 BLAIR WAY	LA MESA CA 91941

3003214612 VONSCHALSCHA TAMI TRUST 08-26-21	239 SEA FOREST CT	DEL MAR CA 92014
3003214610 NARASIMHAN HEMANT	9177 BERNARDO LAKES DR	SAN DIEGO CA 92127
3003214603 THOMAS DARWIN R&DENTON JULIE K	281 STRATFORD CT	DEL MAR CA 92014
3003214630 LLOYD LAWRENCE E REVOCABLE TRUST 10-01-20	10537 BALROYAL CT	FISHERS IN 46037
3003214623 BRISBOIS NANCE J REVOCABLE TRUST 04-10-08	289 SEA FOREST CT	DEL MAR CA 92014
3003214618 ST MARIE DENIS W&LEE A JOINT TRUST 07-10-18	23200 LAKE RD #54	BAY VILLAGE OH 44140
3003214606 BENNITT LIVING TRUST 11-12-02	269 STRATFORD CT	DEL MAR CA 92014
3003214602 TROMBLY FAMILY TRUST 10-23-10	19 KING EIDER LN	ALISO VIEJO CA 92656
3003214637 BLICK JUDITH A TRUST 03-22-01	263 SEA FOREST CT	DEL MAR CA 92014
3003214625 WROAN KAREN L	297 SEA FOREST CT	DEL MAR CA 92014
3003214621 ALEGRIA BRIAN&BUFFY REVOCABLE PROPERTY TRUST 04-13	12261 COURTNEY HEIGHTS LN	YAKIMA WA 98908
3003214636 GODLEWSKI LIVING TRUST 11-28-11	4 VIA JAZMIN	SAN CLEMENTE CA 92672
3003214617 GAARDER DONNA A 2004 TRUST 06-25-04	850 DEL MAR DOWNS RD #135	SOLANA BEACH CA 92075
3003214609 DOUEK GABRIEL TRUST 11-18-20	237 SEA FOREST CT	DEL MAR CA 92014
3003214633 KESER MILAN&LIZABETH	16556 CIMARRON CREST DR	SAN DIEGO CA 92127
3003214635 FRANKUM VIRGINIA DD	259 SEA FOREST CT	DEL MAR CA 92014
3003214634 FAUQUET CLAUDE&CLAIRE	308 S SPOEDE RD	ST LOUIS MO 63141
3003214631 JONES FAMILY TRUST 08-21-89	22430 SKYLINE DR	YORBA LINDA CA 92887
3003214640 BRUCKER ROBERT SEPARATE PROPERTY TRUST 11-04-13	3253 LAHITTE CT	SAN DIEGO CA 92122
3003214628 DEPINTO FAMILY TRUST 02-07-95	299 SEA FOREST CT	DEL MAR CA 92014
3003214627 KING MARY K LIVING TRUST 06-23-04	293 SEA FOREST CT	DEL MAR CA 92014
3003214615 D&D FAMILY TRUST 07-09-20	430 ACACIA DR	SEDONA AZ 86336
3003214614 LEWIS DONALD G	229 SEA FOREST CT	DEL MAR CA 92014
3003214611 GRAYBILL JOHN F JR TR&GRAYBILL GALE E TR	615 15TH ST	DEL MAR CA 92014
3003214639 CAFFERTY MARY C&WALL ALLEN J	4020 BLACKTHORN CT	BLOOMFIELD MI 48301
3003214632 BLANC FAMILY TRUST 02-16-05 C/O JAMES J BLANC	832 W HILLSDALE BLVD	SAN MATEO CA 94403
3003214613 RUSSELL IRENE A LE RUSSELL ANDREW&RUSSELL JAMES	225 SEA FOREST CT #37	DEL MAR CA 92014
3003214605 MURPHY CHRISTINE E	3983 SAN AUGUSTINE WAY	SAN DIEGO CA 92130
3003214620 POLANSKY THEODORE M&JEANETTE A	50 ELIOT RD	NEEDHAM HGTS MA 02494
3003214604 WOLCOTT PATRICK&JILL O	4993 HIDDEN DUNE CT	SAN DIEGO CA 92130
3003211700 LOS ARBOLES APARTMENTS LLC DBA LOS ARBOLES DEL MA	399 STRATFORD CT	STE 335 DEL MAR, CA 92014
3003215813 BAYER STEVEN R&FOLEY ELIZABETH A	428 WARREN ST	BROOKLINE MA 02445
3003215814 PALMER J KEITH&SALLY A REVOCABLE TRUST 04-03-08	27562 ESCUNA	MISSION VIEJO CA 92692
3003215811 HELLMANN ELISABETH A LIVING TRUST 12-13-16	230 4TH ST	DEL MAR CA 92014
3003215810 VIDRIH FAMILY TRUST 08-11-98	P O BOX 1153	DEL MAR CA 92014
3003215809 COOK LORA A REVOCABLE TRUST	226 4TH ST	DEL MAR CA 92014
3003215804 PHILLIPS LANAS D&JACQUELINE L TRUST A 11-19-91	P O BOX 15164	SAN DIEGO CA 92175
3003215801 CONSTANTINI BEN J TRUST 09-28-98	210 4TH ST	DEL MAR CA 92014
3003215817 KERR JAMES R&PAMELA H	423 STRATFORD CT	DEL MAR CA 92014
3003215816 VANDOORN LEENDERT P&VANRIJT JUDITH J J	2142 RIVINA DR	AUSTIN TX 78733
3003215812 BEVASH SUZANNE E	232 4TH ST	DEL MAR CA 92014
3003215815 MALIK SUDHIR&ANJALI	415 STRATFORD CT	DEL MAR CA 92014
3003215808 VOORHIES TRUST 10-23-00	224 4TH ST	DEL MAR CA 92014
3003215807 ESCONDIDO DEVELOPMENT PROPERTIES LLC	2601 WINERIDGE PL	ESCONDIDO CA 92029
3003215802 BRANDYS PASCAL	212 4TH ST	DEL MAR CA 92014
3003215818 SOHAEY MANUTCHEHR TRUST 07-07-93 C/O MANUTCHER SOHAEY	1420 PAINT MOUNTAIN RD	ESCONDIDO CA 92029
3003215805 FAHEY FAMILY LIVING TRUST 05-07-96	P O BOX 5936	CARMEL BY THE CA 93921
3003215803 SMITH LISA&FRIEDMAN CRAIG D	214 4TH ST	DEL MAR CA 92014
3003215700 STRATFORD DEL MAR LLC	1055 6TH AVE #101	SAN DIEGO CA 92101
3003330400 DALY FAMILY TRUST 05-10-05	325 EL AMIGO RD	DEL MAR CA 92014
3003330300 NEWMAYER-MOSER FAMILY TRUST 11-28-01	319 EL AMIGO RD	DEL MAR CA 92014
3003330100 HOFFMAN HERBERT B&SAMMARTINO JANIS L	P O BOX 1177	DEL MAR CA 92014
3003311700 DEVINE DARREL W	1047 ALEXANDRIA DR	SAN DIEGO CA 92107
3003311600 MONSEF TADJI LIVING TRUST 11-06-20	1760 SEAVIEW AVE	DEL MAR CA 92014
3003310400 FRAVEL FAMILY REVOCABLE LIVING TRUST	325 LA AMATISTA RD	DEL MAR CA 92014
3003310300 LAQUA LISA M	319 LA AMATISTA RD	DEL MAR CA 92014
3002340900 WILLIAMSON LIVING TRUST 09-15-17	326 LA AMATISTA RD	DEL MAR CA 92014
3003213011 WALSH EDWARD P TRUST	460 CAMINO DEL MAR #11	DEL MAR CA 92014
3003213010 GROTENHUIS DIRK A T IV	231 BONITA AVE	PIEDMONT CA 94611
3003213009 LIU XIN	7444 ARROYO GRANDE RD	SAN DIEGO CA 92129
3003213007 LIGHT JULIANA	460 CAMINO DEL MAR #7	DEL MAR CA 92014
3003213004 YANT FAMILY TRUST 07-02-98	5402 BLANCO WAY	CULVER CITY CA 90230
3003213002 FAISON-OLSEN TRUST 08-07-23	460 CAMINO DEL MAR #2	DEL MAR CA 92014
3003213014 KEY CHARLES G	460 CAMINO DEL MAR #14	DEL MAR CA 92014
3003213005 BURKEL FAMILY TRUST 10-21-16	3490 VIA ZARA CT	FALLBROOK CA 92028
3003213016 GAROFALO ANDREA M V	460 CAMINO DEL MAR #16	DEL MAR CA 92014
3003213008 MORGAN TERENCE	8513 NASH DR	LOS ANGELES CA 90046
3003213001 DORAN FAMILY TRUST 11-15-19	460 CAMINO DEL MAR #1	DEL MAR CA 92014
3003213013 FEDER DANA R	460 CAMINO DEL MAR #13	DEL MAR CA 92014
3003213003 BROWN LIVING TRUST 04-27-89	C/O GREGORY H BROWN	3128 DUSTY TRL ENCINITAS CA 92024
3003213017 JACKSON KIMBERLY A LIVING TRUST	145 21ST ST	DEL MAR CA 92014
3003213015 RALPH FRED M	460 CAMINO DEL MAR #15	DEL MAR CA 92014
3003213006 HUTAR JOHN M&LISA A	505 MARIN DR	BURLINGAME CA 94010
3003311500 CHANDRA SUKESH&SHREYA	4269 SHOREPOINTE WAY	SAN DIEGO CA 92130
3003311401 K S MATTSON PARTNERS LP	P O BOX 5490	VACAVILLE CA 95696
3003214107 BENSINGER-DIEDE FAMILY TRUST 07-02-07	7153 TANAGER DR	CARLSBAD CA 92011
3003214104 LOFTMAN KATHLEEN A TRUST 04-22-21	6130 RANCHO DIEGUENO RD	RCHO SANTA FE CA 92091
3003214110 GERKE TALBOT REVOCABLE LIVING TRUST	C/O SARA TALBOT	450 N HORNE ST #E24 OCEANSIDE CA 92054
3003214102 HOOVER SCOTT	513 STRATFORD CT	DEL MAR CA 92014
3003214105 HILVERT DONALD&HAMOLSKY MONICA	OTTIKERSTRASSE 19	ZURICH, SWITZERLAND CH-8006 00000
3003214101 MATHIS STUART K&MARY J	511 STRATFORD CT #1	DEL MAR CA 92014
3003214109 NEVIN MICHAEL J FAMILY TRUST 09-28-15	1129 W LOS ALTOS CIR	WASHINGTON UT 84780
3003214103 BOEGER CHAD&VIZCARRA ANNA	5004 W 146TH ST	OVERLAND PARK KS 66224
3003214108 SPERE INTER VIVOS QTIP TRUST 10-28-10	30421 MARBELLA VISTA	SAN JUAN CAPISTRANO CA 92675
3003214106 FELTON FAMILY TRUST 03-07-90	882 NEW ORLEANS CT	CLAREMONT CA 91711
3002001600 TERRACES AT DEL MAR LP	C/O DAVID A ALTOMARE	10601G TIERRASANTA BLVD #363 SAN DIEGO CA 92124
3002341000 HARRY&LIZZY FAMILY TRUST 12-15-09	318 LA AMATISTA RD	DEL MAR CA 92014

3002341200 LOWE GEE Y&JENNIFER C	10323 CAMINITO ARAIA #73	SAN DIEGO CA 92131
3002341300 VERTREES KEITH	308 LA AMATISTA RD	DEL MAR CA 92014
3002340200 COHEN RICHARD J REVOCABLE TRUST 02-01-01	313 7TH ST	DEL MAR CA 92014
3002340100 CARDER FAMILY TRUST 04-11-97	311 7TH ST	DEL MAR CA 92014
3002003500 PACIFICA STRATFORD THREE L L C	C/O DEEPAK ISRANI	1785 HANCOCK ST #100 SAN DIEGO CA 92110
3002340400 SHARP JOHN&BOBBIE FAMILY TRUST 08-16-18	329 7TH ST	DEL MAR CA 92014
3002340300 LEE THOMAS L&COLLEEN K FAMILY TRUST	23960 WILDWOOD CANYON RD	NEWHALL CA 91321
3002312200 FLEISCHMAN MARC LIVING TRUST 09-27-13	310 7TH ST	DEL MAR CA 92014
3002310900 GROBAN STEPHEN E&DEBORAH I REVOCABLE LIVING TRUST	330 7TH ST	DEL MAR CA 92014
3002311000 BENITEZ FAMILY TRUST A 02-02-89	555 N EL CAMINO REAL #A	SAN CLEMENTE CA 92672
3002311700 NEFFELER MARSHA H LIVING TRUST 10-06-99	307 8TH ST	DEL MAR CA 92014
3002310400 NOVAKOVIC DRAGO&DANA REVOCABLE TRUST 09-23-08	325 8TH ST	DEL MAR CA 92014
3002312100 GRANT WILLIAM G&MEGHAN L	300 7TH ST	DEL MAR CA 92014
3002311100 HAGER BRIAN&CHIA-HUI	721 CAMINO DEL MAR	DEL MAR CA 92014
3002311800 GIANNOTTI FAMILY TRUST	311 8TH ST	DEL MAR CA 92014
3002311500 BANSAL LIVING TRUST 01-17-22	15243 HEATHER STONE CT	SAN DIEGO CA 92127
3002312300 CIUFFREDA MICHAEL J JR&CHERYL E TRS	25241 JESMOND DENE HEIGHTS PL	ESCONDIDO CA 92026
3002311300 TOFT ROBIN M REVOCABLE LIVING TRUST 07-06-17	414 7TH ST	DEL MAR CA 92014
3002311900 MEADOW VIEW 2021 IRREVOCABLE TRUST	C/O STUART B MCELHINNEY TR	3300 COLBY AVE LOS ANGELES CA 90066
3002222600 SWEEDLER ULLA S FAMILY TRUST 06-07-95	328 8TH ST	DEL MAR CA 92014
3002223200 OCEAN 8 VIEW L L C	C/O LEVINE PROPERTY MGMT	P O BOX 817 RANCHO SANTA FE CA 92067
3002223300 WUOTAN A LIMITED LIABILITY CO	2301 RUE DE ANNE	LA JOLLA CA 92037
3002220402 MARY R WOLFF REAL ESTATE MANAGEMENT COMPANY	11456 OLIVE BLVD #210	ST LOUIS MO 63141
7601453900 OSCAR AND KATHLEEN COMMUNITY PROPERTY TRUST 4/17/2	516 STRATFORD CT	DEL MAR CA 92014
3003214414 D M S DEL MAR SURFVIEW LLC	525, CHEMIN DEL COLLES	MOUGINS, FRANCE 06250 00000
3003214421 KELSOE JOHN R JR&LECKBAND SUSAN G FAMILY TRUST 07-	272 SURFVIEW CT	DEL MAR CA 92014
3003214422 270 TRUST 08-06-15	270 SURFVIEW CT	DEL MAR CA 92014
3003214420 LEAFSTEDT FAMILY TRUST 08-23-96	5430 E EL PARQUE ST	LONG BEACH CA 90815
3003214403 AMINIFARD BEJAN&SHEBELOVA TATIANA	294 SURFVIEW CT	DEL MAR CA 92014
3003214406 BURMANN NAHID L DD	300 SURFVIEW CT	DEL MAR CA 92014
3003214405 MILLER SUSAN A TR	266 SURFVIEW CT	DEL MAR CA 92014
3003214401 LARE LAWRENCE E&KAREN F TRS	C/O LAWRENCE LARE	161 SEA CLIFF WAY DEL MAR CA 92014
3003214417 CHACKO JACOB M	280 SURFVIEW CT	DEL MAR CA 92014
3003214416 GERMAN FAMILY TRUST 02-08-22	282 SURFVIEW CT	DEL MAR CA 92014
3003214411 MERTENS JANE U SEPARATE PROPERTY TRUST	260 SURFVIEW CT	DEL MAR CA 92014
3003214423 REISNER RALPH&DANUTE TR	268 SURFVIEW CT	DEL MAR CA 92014
3003214415 STEIN DAVID A	284 SURFVIEW CT	DEL MAR CA 92014
3003214408 MASON&DEWALD-MASON TRUST 06-14-17	256 SURFVIEW CT	DEL MAR CA 92014
3003214402 REDONDO INESE 2007 TRUST 04-23-07	292 SURFVIEW CT	DEL MAR CA 92014
3003214418 STERN FAMILY TRUST 08-16-00	278 SURFVIEW CT	DEL MAR CA 92014
3003214410 SIROSH JOSEPH&VARGHESE DEEPA	6057 155TH PL SE	BELLEVUE WA 98006
3003214404 BLATCHFORD FAMILY IRREVOCABLE TRUST 03-13-02	7452 N CALLE SIN DESENGANO	TUCSON AZ 85718
3003214413 RITMAN WILLIAM&LAUREN FAMILY TRUST 07-20-06	288 SURFVIEW CT	DEL MAR CA 92014
3003214409 HIRSCH PETER M SEPARATE PROPERTY TRUST 05-23-02	264 SURFVIEW CT	DEL MAR CA 92014
3003214407 KHOE FAMILY TRUST 11-10-08	254 SURFVIEW CT	DEL MAR CA 92014
3003213300 CATE ALLAN REVOCABLE TRUST 08-02-07	P O BOX 8015	LA CRESCENTA CA 91224
3003213702 OCEANFRONT REALTY LLC	1155 CAMINO DEL MAR #121	DEL MAR CA 92014
3003213701 GORMAN FAMILY TRUST 09-09-15	145 4TH ST	DEL MAR CA 92014
3003213601 JIM&ROCHELLE PUTNAM FAMILY L L C	P O BOX 675968	RCHO SANTA FE CA 92067
3003213602 SCARDINO FAMILY TRUST 08-10-06	1110 N EASLEY CANYON RD	GLENDORA CA 91741
3003213401 MOCERI DEBORAH W TRUST 01-19-96	402 STRATFORD CT	DEL MAR CA 92014
3003213402 MILLER GARY&MARKOVAC JASNA	404 STRATFORD CT	DEL MAR CA 92014
3003210901 MCELHINNEY LLOYD&KATHLEEN FAMILY TRUST B 09-25-90	P O BOX 1567	RANCHO SANTA FE CA 92067
3003210902 HAZAN FAMILY TRUST 03-09-05	1935 EDMONT ST	SAN DIEGO CA 92102
3003213500 REYNOLDS REVOCABLE LIVING TRUST 05-01-89	95 MT HAMILTON AVE	LOS ALTOS CA 94022
3003213100 PASTORE MICHAEL TRUST 05-24-22	C/O MICHAEL PASTORE	P O BOX 2313 DEL MAR CA 92014
3003214023 AGISHI AKIKO	3119 NICHOLS CANYON RD	LOS ANGELES CA 90046
3003214018 GREMEL DENNIS D	55401 204TH LN	MANKATO MN 56001
3003214014 HAYS SHEENA L	424 STRATFORD CT #A30	DEL MAR CA 92014
3003214001 BALCH REGINA E REVOCABLE LIVING TRUST 02-17-14	424 STRATFORD CT #A10	DEL MAR CA 92014
3003214008 DANGELO ARJON 2005 TRUST 04-04-05	424 STRATFORD CT #A21	DEL MAR CA 92014
3003214007 ROTH TRUST 08-10-90	7086 ROCK SPRING LN	HIGHLAND CA 92346
3003214005 S R S C TRUST 08-27-10	424 STRATFORD CT #A15	DEL MAR CA 92014
3003214011 HULSE JUDITH L 1990 TRUST 10-25-90	3273 STREAMSIDE CIR #410	PLEASANTON CA 94588
3003214006 SOMERVILLE PATRICIA A LIVING TRUST	1118 MONTEREY VISTA PL	ENCINITAS CA 92024
3003214003 GUMBRELL CHARLOTTE A TRUST 04-04-04	424 STRATFORD CT #A12	DEL MAR CA 92014
3003214024 TEMPLETON LARRY W&CHERI A	424 STRATFORD CT #B15	DEL MAR CA 92014
3003214021 BASKIN ADRIANA	424 STRATFORD CT #B11	DEL MAR CA 92014
3003214025 CADY FAMILY TRUST 11-19-03	4940 PEARLMAN WAY	SAN DIEGO CA 92130
3003214010 MORGAN FAMILY LIVING TRUST 02-14-08	69758 CAMINO PACIFICO	RANCHO MIRAGE CA 92270
3003214033 BRASWELL GEOFFREY E	424 STRATFORD CT #B30	DEL MAR CA 92014
3003214019 STEVENSON KATHRYN A TRUST 04-20-00	424 STRATFORD CT #A36	DEL MAR CA 92014
3003214017 A TRUST 08-10-20	424 STRATFORD CT #A34	DEL MAR CA 92014
3003214036 SCHROY CARTER B	424 STRATFORD CT #B34	DEL MAR CA 92014
3003214032 STEVENS LEE M FAMILY TRUST 05-25-22	424 STRATFORD CT #B27	DEL MAR CA 92014
3003214028 WHITELEY SHERRY A	P O BOX 4297	MOUNTAIN VIEW CA 94040
3003214015 BLUE SAGE INVESTMENTS LLC	2240 VIA APRILIA	DEL MAR CA 92014
3003214002 KEWIN SURVIVORS TRUST 11-07-02	424 STRATFORD CT #A11	DEL MAR CA 92014
3003214038 REED RHONDA J	320 I ST	DAVIS CA 95616
3003214034 HELDERS REVOCABLE FAMILY TRUST 06-15-94	245 VIA TIERRA	ENCINITAS CA 92024
3003214029 GUM TREE TRUST 05-21-20	424 STRATFORD CT #B24	DEL MAR CA 92014
3003214027 STALLINGS FAMILY TRUST 12-20-01	3608 FIELDVIEW CT	PLEASANTON CA 94588
3003214037 BURKE TIMOTHY L REVOCABLE TRUST 06-28-17	1409 ROSALIE ST	EVANSTON IL 60201
3003214031 PHAM MIKHANH K	424 STRATFORD CT #B26	DEL MAR CA 92014
3003214022 G&T LIVING TRUST 08-29-13	17980 HIGHLANDS RANCH TER	POWAY CA 92064
3003214013 BENNETT JOHN W TR&BENNETT SUZANNE L TR	1524 SAVIN DR	EL CAJON CA 92021
3003214009 LAWEE LAURA	2683 VIA DE LA VALLE #G-260	DEL MAR CA 92014

3003214026 OGBURN CHARLES&CAROLYN REVOCABLE LIVING TRUST 08-0	12960 PERCY CT	SAN DIEGO CA 92130
3003214035 WICHNER REVOCABLE 1986 TRUST 07-24-86	424 STRATFORD CT #B32	DEL MAR CA 92014
3003214020 MCKAY WILLIAM 1989 TRUST 03-14-89	1434 DON PALOS DR	WALNUT CREEK CA 94597
3003214016 ALLISON MOLLY J	424 STRATFORD CT #A32	DEL MAR CA 92014
3003214012 MELSON CHELSEA A TRUST 1 01-09-97	424 STRATFORD CT #A26	DEL MAR CA 92014
3003210300 FUNKE THOMAS M TRUST 11-29-17	C/O CAPITAL ASSET MANAGEMENT	2206 BALBOA AVE SAN DIEGO CA 92109
3002002018 BOK ROBERT L	PMB 325	3916 N POTSDAM AVE SIOUX FALLS SD 57104
3002002017 TASTAD BLAKE J	131 SHIPPEY LN	DEL MAR CA 92014
3002002011 SOHAEY TRUST 10-18-16	7224 ARROYO GRANDE RD	SAN DIEGO CA 92129
3002002014 PURCELL SUSAN LIVING TRUST 04-12-22	C/O SUSAN PURCELL	519 STRATFORD CT #5 DEL MAR CA 92014
3002002012 LANE ROBERT G	519 STRATFORD CT #H	DEL MAR CA 92014
3002002009 DIXON G M FAMILY TRUST	1614 NW WHITMAN ST	CAMAS WA 98607
3002002008 SEACLIFF S G H TRUST 10-30-19	4239 N ROGERS RD	SPRING VALLEY CA 91977
3002002007 LANDMAN ROBERT G&BONNIE LIVING TRUST 12-05-91	7146 E MOCKINGBIRD WAY	ANAHEIM CA 92807
3002002006 SHAH MUKESH&REETA	519 STRATFORD CT #L	DEL MAR CA 92014
3002002005 GOEBEL FAMILY TRUST 01-13-99	11205 WINDBROOK WAY	SAN DIEGO CA 92131
3002002016 FORMAN MICHAEL H&STEPHANIE T TRS	14875 VIA DEL CANON	DEL MAR CA 92014
3002002013 MANSOLINO STEPHANIE M	519 STRATFORD CT #I	DEL MAR CA 92014
3002002010 VALENTINO MONICA REVOCABLE TRUST	3631 SEAHORN CIR	SAN DIEGO CA 92130
3002002004 CONDON THOMAS P	834 MANDANA BLVD	OAKLAND CA 94610
3002002001 TINMIK LLC	650 YUCCA RD	FALLBROOK CA 92028
3002002003 MALOPY MARK L	547 NANTUCKET CT	ENCINITAS CA 92024
3002002015 BRESCIANI MARILEE REVOCABLE TRUST 08-04-09	C/O MARILEE LUDVIK	8745 MCDONOUGH ST N RICHLND HLS TX 76180
3005000502 QUESNELL BRIAN&DINA REVOCABLE TRUST 02-16-18	533 STRATFORD CT	DEL MAR CA 92014
3005000501 LISTON STEPHEN L&CAMPION MARY K	15 RAINS WAY	HOUSTON TX 77007
3005000402 MUDD MICHAEL&JENIFER	543 STRATFORD CT	DEL MAR CA 92014
3005000401 RAHON FAMILY TRUST 02-08-23	541 STRATFORD CT	DEL MAR CA 92014
3005000301 SCHELL CHRISTOPH&ASTRID	4180 MANUELA AVE	PALO ALTO CA 94306
3005000302 WEISS SHIRLI F TRUST	551 STRATFORD CT	DEL MAR CA 92014
3005000202 ROBERTS FAMILY TRUST A 04-25-00	P O BOX 2727	DEL MAR CA 92014
3005000201 WADEKAR DHANANJAY G&NEETA D	381 SOUTH ST	NEEDHAM MA 02492
3003215905 WILLERT KARL H&GAASTERLAND THERESA	131 SEA CLIFF WAY	DEL MAR CA 92014
3003215903 GAASTERLAND THERESA	526 STRATFORD CT #C	DEL MAR CA 92014
3003215904 WADE TIMOTHY P TRUST 08-25-22	1552 CAMINO DEL MAR #619	DEL MAR CA 92014
3003215901 CASCONE FAMILY TRUST 10-20-98	526 STRATFORD CT #A	DEL MAR CA 92014
3003210102 CROWE STEVEN D&CHERYL M	P O BOX 1132	SUN VALLEY ID 83353
3003216000 516 STRATFORD COURT LP	700 2ND ST	ENCINITAS CA 92024
3003215300 LUND FAMILY TRUST 03-18-92	135 6TH ST	DEL MAR CA 92014
3003215002 CARTER TRUST 10-06-98	159 6TH ST	DEL MAR CA 92014
3003215001 NOPA PROPERTIES LLC	1715 NANTUCKET DR #A	HOUSTON TX 77057
3003215102 THOMAS GWYNN D	803 AMIFORD DR	SAN DIEGO CA 92107
3003215200 JACOBSON TRUST 07-18-97	P O BOX 2811	DEL MAR CA 92014
3005000102 611 STRATFORD COURT LLC	497 PINE NEEDLES DR	DEL MAR CA 92014
3005000101 OTOOLE ROSEMARY V	613 STRATFORD CT	DEL MAR CA 92014
3001820701 SHAPIRO STEVEN	155 SHERRIE LN	DEL MAR CA 92014
3001820702 BOYCE&SCHAEFER TRUST 01-13-14	934 23RD ST	SAN DIEGO CA 92102
3002001100 RICHARDSON PARK&MAUREEN REVOCABLE TRUST 04-21-88	639 STRATFORD CT	DEL MAR CA 92014
3002001900 STOWELL FAMILY GIFT TRUST NO D 03-18-04	5100 MESA TER	LA MESA CA 91941
3001821801 OZAKI FAMILY TRUST 06-15-94	1655 CHESTNUT AVE	CARLSBAD CA 92008
3001821802 SCHIEFER WILLIAM E JR TRUST 05-08-90	825 COLLEGE BLVD #102	OCEANSIDE CA 92057
3003215400 MAAS PATRICIA W	P O BOX 1145	DEL MAR CA 92014
3003215500 INTEGRATED PROFESSIONAL SERVICES LLC	4471 DEAN MARTIN DR #4207	LAS VEGAS NV 89103
3001821001 FRIEDER BILL&JANICE TRUST 04-03-91	P O BOX 890	DEL MAR CA 92014
3001821002 AMEN RICHARD E QUALIFIED PERSONAL RESIDENCE TRUST	144 SHERRIE LN	DEL MAR CA 92014
3001821100 MARTENS ROBERT F&HOLLEY C F	1050 E 9TH ST #2B	CLEVELAND OH 44114
3001821200 REITH MARY S V TRUST 08-29-88	151 LA VETA AVE	ENCINITAS CA 92024
3001820902 REICHEL JOHN S FAMILY TRUST 01-10-17	6828 COUNTRY CLUB DR	LA JOLLA CA 92037
3001821702 WOOD J B 2014 REVOCABLE TRUST 12-12-14	151 SHERRIE LN	DEL MAR CA 92014
3001821701 DAVENPORT FAMILY TRUST 02-06-06	4043 NW THUNDER CREST RD	PORTLAND OR 97229
3001821601 MULLIGAN MAUREEN C REVOCABLE TRUST 05-19-23	141 7TH ST	DEL MAR CA 92014
3001821602 TEAM B 2018 TRUST 05-01-18	C/O PREMIER TRUST INC	4465 S JONES BLVD LAS VEGAS NV 89103
3001821401 MCCULLOUGH FAMILY TRUST 09-06-01	C/O JAMES MCCULLOUGH	P O BOX 307 HANAIEI HI 96714
3001821502 YEAGER MARK J&RODDY MARY	645 EIGHT WOODS LN	CHARLOTTESVLE VA 22903
3001821501 ROBILLARD MARK A	135 7TH ST	DEL MAR CA 92014
3001821300 BROSCIOUS RUSSELL K JR	P O BOX 792	DEL MAR CA 92014
3001811400 156-158 7TH STREET LLC	158 7TH ST	DEL MAR CA 92014
3001811502 DOWDEN JACK&VICKI FAMILY TRUST 04-07-05	154 7TH ST	DEL MAR CA 92014
3001811501 DEL MAR SUNSETS LLC	2310 S 2ND ST	AUSTIN TX 78704
3001811600 GILLIES GILLIAN B FAMILY TRUST 11-28-18	140 7TH ST	DEL MAR CA 92014
3001811702 PLASHKES FAMILY TRUST 06-06-07	P O BOX 2513	RCHO SANTA FE CA 92067
3001811701 SCHIOLDAGER AMY TRUST 03-06-08	117 WILDERNESS LN	LAFAYETTE CA 94549
3001811802 HINDMAN FAMILY TRUST 08-02-11	119 8TH ST	DEL MAR CA 92014
3001811801 ORPIN TRISTAN B&SALLY K FAMILY TRUST 02-24-09	C/O SALLY ORPIN	10766 GALLOP CREST CT SAN DIEGO CA 92130
3001812101 E K E LLC	10882 EQUESTRIAN RIDGE CT	SAN DIEGO CA 92130
3001812001 LARSON FAMILY TRUST 12-27-18	P O BOX 201	DEL MAR CA 92014
3001812002 HANUMANASANA L L C	1300 E 7TH AVE	DENVER CO 80218
3002002800 SANAI NADER&JESSIE	5245 E PALO VERDE PL	PARADISE VLY AZ 85253
3002002700 MANDALA ROCCO TRUST 06-26-15	C/O ROCCO MANDALA	4808 N 24TH ST #1503 PHOENIX AZ 85016
3002003100 STRATFORD PINES LTD	4060 4TH AVE #450	SAN DIEGO CA 92103
3002002900 DUBONNET NANCY REVOCABLE TRUST 09-09-96	25211 BUCKSKIN DR	LAGUNA HILLS CA 92653
3002002600 LIN RAY&YANG DAPHNE Y 2005 REVOCABLE TRUST 11-28-0	14674 ENCENDIDO	SAN DIEGO CA 92127
3002003000 MACE SHANE B&SHARON L LIVING TRUST 12-03-14	5609 HONDO LN	EAGLE ID 83616
3002002400 NEWBERRY DOUGLAS A REVOCABLE TRUST 09-26-13 ET AL	528 E 6TH AVE	ESCONDIDO CA 92025
3001810700 DEAL DEL MAR L L C	8833 NE 36TH ST	YARROW POINT WA 98004
3001810602 ROCK/DYSART FAMILY REVOCABLE 1999 TRUST 07-06-99	152 LITTLE ORPHAN ALLEY	DEL MAR CA 92014
3001810601 BLOOMER FAMILY TRUST 12-23-10	2325 SAN YSIDRO DR	BEVERLY HILLS CA 90210
3001810500 BIERMAN FAMILY TRUST 02-06-2020	143 8TH ST	DEL MAR CA 92014

3001740700	HERBRUCK ANDREW S TRUST 10-31-12	818 STRATFORD CT	DEL MAR CA 92014
3001740800	BECKER BRAD TRUST 10-03-11	152 8TH ST	DEL MAR CA 92014
3001810300	LA CASITA TRUST 08-06-15	2855 LA CASITA AVE	LAS VEGAS NV 89120
3001810100	MCNICHOLS ELEANOR B TRUST 10-17-01	8141 FARNAM DR #321	OMAHA NE 68114
3001740900	MAURER TIMOTHY C FAMILY TRUST 10-07-94	142 8TH ST	DEL MAR CA 92014
3001741001	CULP CHARLES H REVOCABLE TRUST 04-20-01 ET AL	P O BOX 48	RCHO SANTA FE CA 92067
3001741100	LITTLE KENNETH D	877 ISLAND AVE #410	SAN DIEGO CA 92101
3001741501	BEATTY GEORGE FAMILY TRUST 10-22-01	157 9TH ST	DEL MAR CA 92014
3001741502	CEFALO CHRISTINE	828 STRATFORD CT	DEL MAR CA 92014
3001741600	ORINGHER FAMILY TRUST 05-24-97	2244 CENTURY HILL	LOS ANGELES CA 90067
3001741700	CHERRY ADAM Z SEPARATE PROPERTY TRUST 05-10-96	135 9TH ST	DEL MAR CA 92014
3001712000	RICHMAN JANET L REVOCABLE TRUST 07-07-17	910 STRATFORD CT	DEL MAR CA 92014
3001711001	BEACH BLUFF PROPERTIES LLC	DANIELLE E NOCHOLAS, MANAGER	409 S 5TH AVE BOZEMAN MT 59715
3001711602	PARKES ROLAND TRUST 05-26-05	156 MELANIE WAY	DEL MAR CA 92014
3001711601	BLUE NICOLAS	6201 E CALLE REDONDA	SCOTTSDALE AZ 85251
3001741300	BEVASH FAMILY TRUST 04-28-21	110 8TH ST	DEL MAR CA 92014
3001741800	CARSON ROBERT 2004 TRUST 01-08-04	P O BOX 2627	DEL MAR CA 92014
3001711100	BEACH BLUFF PROPERTIES LLC	409 S FIFTH AVE	BOZEMAN MT 59715
3001711200	NOVAKOVIC VLADIMIR REVOCABLE TRUST 06-16-92	2272 ALGONQUIN PKWY	ROLLING MDWS IL 60008
3001711302	SINER T ANN FAMILY TRUST 09-29-08	5730 E JOSHUA TREE LN	PARADISE VLY AZ 85253
3001711301	GRINDLE FAMILY 1993 TRUST 02-19-93	116 MELANIE WAY	DEL MAR CA 92014
3001711400	KINNEY FAMILY TRUST 12-31-86	106 9TH ST	DEL MAR CA 92014
3001710100	RHETT BEATRIZ M REVOCABLE TRUST	931 OCEAN AVE	DEL MAR CA 92014
3001721100	BALLAM FAMILY TRUST 06-13-14	C/O AMERICAN HERITAGE PROPERTIES	9988 HIBERT ST #300 SAN DIEGO CA 92131
3001710400	JAEGER JOHN F&JOANNE S REVOCABLE TRUST 04-17-99	129 10TH ST #B	DEL MAR CA 92014
3001721900	BUCKEYE INVESTMENTS INC 401 K PLAN	C/O DAVE SWEENEY	7560 HILLSIDE DR LA JOLLA CA 92037
3000930700	SIMON WILLIAM A TRUST 09-19-12	160 CHESTERFIELD DR #200	CARDIFF CA 92007
3000941900	MARTEN R T	932B N ART VILLAGE WAY	IVINS UT 84738
3000912003	COSTELLO LESLIE A LIVING TRUST 05-12-99	147 12TH ST	DEL MAR CA 92014
3000910600	AMOS DONALD G TRUST 10-28-98	143 12TH ST	DEL MAR CA 92014
3003215806	ESCONDIDO DEVELOPMENT PROPERTIES LLC	2061 WINERIDGE PL	ESCONDIDO CA 92029
3003214004	MALEKEDELI MEHDI TRUST 06-05-96	4306 FORESTVIEW DR	MIDLAND MI 48642
3003214030	CURLEY RICHARD 2017 TRUST 01-06-17	424 STRATFORD CT #B25	DEL MAR CA 92014
3002002002	NUNNALLY CHRISTOPHER&JESSICA R	519 STRATFORD CT #B	DEL MAR CA 92014
3002220402	CURRENT RESIDENT	327 9TH ST	DEL MAR CA 92014-2809
3002223100	CURRENT RESIDENT	853 CAMINO DEL MAR	DEL MAR CA 92014-2804
3001712100	CURRENT RESIDENT	0 STRATFORD CT	CA
3001711901	CURRENT RESIDENT	922 STRATFORD CT	CA
3002213400	CURRENT RESIDENT	300 9TH ST	DEL MAR CA 92014-2821
3001721700	CURRENT RESIDENT	910 CAMINO DEL MAR	DEL MAR CA 92014-2800
3001720900	CURRENT RESIDENT	240 9TH ST	DEL MAR CA 92014-2717
3001721000	CURRENT RESIDENT	236 9TH ST	DEL MAR CA 92014-2717
3001721100	CURRENT RESIDENT	232 9TH ST	DEL MAR CA 92014-2717
3001721400	CURRENT RESIDENT	0 10TH ST	DEL MAR CA 92014
3001720400	CURRENT RESIDENT	944 CAMINO DEL MAR	DEL MAR CA 92014-2813
3000931800	CURRENT RESIDENT	0 CAMINO DEL MAR	CA
3001720200	CURRENT RESIDENT	227 10TH ST	DEL MAR CA 92014-2308
3001720102	CURRENT RESIDENT	221 10TH ST	DEL MAR CA 92014-2308
3001720101	CURRENT RESIDENT	223 10TH ST	DEL MAR CA 92014-2308
3001722000	CURRENT RESIDENT	919 STRATFORD CT	DEL MAR CA 92014-2728
3001721900	CURRENT RESIDENT	931 STRATFORD CT	DEL MAR CA 92014-2728
3001721800	CURRENT RESIDENT	215 10TH ST	DEL MAR CA 92014-2308
3000931300	CURRENT RESIDENT	234 10TH ST	DEL MAR CA 92014-2359
3001711700	CURRENT RESIDENT	950 STRATFORD CT	DEL MAR CA 92014-2729
3001710702	CURRENT RESIDENT	159 10TH ST	DEL MAR CA 92014-2306
3001710600	CURRENT RESIDENT	149 10TH ST	DEL MAR CA 92014-2306
3000930800	CURRENT RESIDENT	1023 STRATFORD CT	DEL MAR CA 92014-2321
3000941600	CURRENT RESIDENT	158 10TH ST	DEL MAR CA 92014-2307
3000941800	CURRENT RESIDENT	1010 STRATFORD CT	DEL MAR CA 92014-2322
3000931600	CURRENT RESIDENT	0 11TH ST	CA
3000931200	CURRENT RESIDENT	225 11TH ST	DEL MAR CA 92014-2312
3000921400	CURRENT RESIDENT	1104 CAMINO DEL MAR	DEL MAR CA 92014-2656
3000920901	CURRENT RESIDENT	238 11TH ST	DEL MAR CA 92014-2313
3000930700	CURRENT RESIDENT	1035 STRATFORD CT	DEL MAR CA 92014-2321
3000941700	CURRENT RESIDENT	1030 STRATFORD CT	DEL MAR CA 92014-2322
3000921000	CURRENT RESIDENT	230 11TH ST	DEL MAR CA 92014-2313
3000922200	CURRENT RESIDENT	220 11TH ST	DEL MAR CA 92014-2313
3000922000	CURRENT RESIDENT	1105 STRATFORD CT	DEL MAR CA 92014-2323
3000921300	CURRENT RESIDENT	1110 CAMINO DEL MAR	DEL MAR CA 92014-2659
3000920700	CURRENT RESIDENT	1130 CAMINO DEL MAR	DEL MAR CA 92014-2639
3000920600	CURRENT RESIDENT	1140 CAMINO DEL MAR	DEL MAR CA 92014-2606
3000921600	CURRENT RESIDENT	243 12TH ST	DEL MAR CA 92014-2316
3000740600	CURRENT RESIDENT	1202 CAMINO DEL MAR	DEL MAR CA 92014-2506
3000740700	CURRENT RESIDENT	1212 CAMINO DEL MAR	DEL MAR CA 92014-2506
3000920300	CURRENT RESIDENT	211 12TH ST	DEL MAR CA 92014-2316
3000920200	CURRENT RESIDENT	205 12TH ST	DEL MAR CA 92014-2316
3000740500	CURRENT RESIDENT	1205 STRATFORD CT	DEL MAR CA 92014-2325
3000740400	CURRENT RESIDENT	1219 STRATFORD CT	DEL MAR CA 92014-2325
3000740800	CURRENT RESIDENT	1226 CAMINO DEL MAR	DEL MAR CA 92014-2506
3000741200	CURRENT RESIDENT	1241 STRATFORD CT	DEL MAR CA 92014-2325
3001710500	CURRENT RESIDENT	141 10TH ST	DEL MAR CA 92014-2306
3001710400	CURRENT RESIDENT	129 10TH ST	DEL MAR CA 92014-2346
3001710300	CURRENT RESIDENT	119 10TH ST	DEL MAR CA 92014-2306
3001710201	CURRENT RESIDENT	111 10TH ST	DEL MAR CA 92014-2306
3000941501	CURRENT RESIDENT	150 10TH ST	DEL MAR CA 92014-2307
3000941502	CURRENT RESIDENT	152 10TH ST	DEL MAR CA 92014-2307
3000940901	CURRENT RESIDENT	144 10TH ST	DEL MAR CA 92014-2307

3000941001	CURRENT RESIDENT	136 10TH ST	DEL MAR CA 92014-2307
3000940300	CURRENT RESIDENT	111 11TH ST	DEL MAR CA 92014-2310
3000940200	CURRENT RESIDENT	107 11TH ST	DEL MAR CA 92014-2310
3000940100	CURRENT RESIDENT	101 11TH ST	DEL MAR CA 92014-2310
3000940600	CURRENT RESIDENT	137 11TH ST	DEL MAR CA 92014-2310
3000942301	CURRENT RESIDENT	125 11TH ST	DEL MAR CA 92014-2310
3000942303	CURRENT RESIDENT	121 11TH ST	DEL MAR CA 92014-2310
3000911002	CURRENT RESIDENT	136 SEA ORBIT LN	DEL MAR CA 92014-2320
3000911001	CURRENT RESIDENT	134 11TH ST	DEL MAR CA 92014-2311
3000911300	CURRENT RESIDENT	110 11TH ST	DEL MAR CA 92014-2311
3000911700	CURRENT RESIDENT	106 11TH ST	DEL MAR CA 92014-2311
3000911100	CURRENT RESIDENT	123 SEA ORBIT LN	DEL MAR CA 92014-2320
3000910500	CURRENT RESIDENT	135 12TH ST	DEL MAR CA 92014-2314
3000911800	CURRENT RESIDENT	100 11TH ST	DEL MAR CA 92014-2311
3000910100	CURRENT RESIDENT	101 12TH ST	DEL MAR CA 92014-2314
3000912002	CURRENT RESIDENT	151 12TH ST	DEL MAR CA 92014-2314
3000912001	CURRENT RESIDENT	153 12TH ST	DEL MAR CA 92014-2314
3000912004	CURRENT RESIDENT	149 12TH ST	DEL MAR CA 92014-2314
3000721600	CURRENT RESIDENT	1206 STRATFORD CT	DEL MAR CA 92014-2326
3000721700	CURRENT RESIDENT	1216 STRATFORD CT	DEL MAR CA 92014-2326
3000721900	CURRENT RESIDENT	1236 STRATFORD CT	DEL MAR CA 92014-2326
3000721501	CURRENT RESIDENT	1224 PACIFIC LN	DEL MAR CA 92014-2362
3000721401	CURRENT RESIDENT	152 12TH ST	DEL MAR CA 92014-2315
3000720902	CURRENT RESIDENT	122 12TH ST	DEL MAR CA 92014-2315
3000720901	CURRENT RESIDENT	120 12TH ST	DEL MAR CA 92014-2315
3000720600	CURRENT RESIDENT	148 12TH ST	DEL MAR CA 92014-2315
3000720700	CURRENT RESIDENT	130 12TH ST	DEL MAR CA 92014-2315
3000721200	CURRENT RESIDENT	155 13TH ST	DEL MAR CA 92014-2331
3000720501	CURRENT RESIDENT	145 13TH ST	DEL MAR CA 92014-2331
3000720502	CURRENT RESIDENT	147 13TH ST	DEL MAR CA 92014-2331
3000720401	CURRENT RESIDENT	141 13TH ST	DEL MAR CA 92014-2331
3000720402	CURRENT RESIDENT	139 13TH ST	DEL MAR CA 92014-2331
3000721301	CURRENT RESIDENT	165 13TH ST	DEL MAR CA 92014-2331
3000720202	CURRENT RESIDENT	123 13TH ST	DEL MAR CA 92014-2331
3000720201	CURRENT RESIDENT	121 13TH ST	DEL MAR CA 92014-2331
3000722200	CURRENT RESIDENT	119 13TH ST	DEL MAR CA 92014-2331
3000722100	CURRENT RESIDENT	115 13TH ST	DEL MAR CA 92014-2331
3003215649	CURRENT RESIDENT	101 SPINNAKER CT	DEL MAR CA 92014-3218
3003215642	CURRENT RESIDENT	116 SPINNAKER CT	DEL MAR CA 92014-3218
3003215639	CURRENT RESIDENT	126 SPINNAKER CT	DEL MAR CA 92014-3218
3003215635	CURRENT RESIDENT	257 STRATFORD CT	DEL MAR CA 92014-3239
3003215623	CURRENT RESIDENT	282 DOLPHIN COVE CT	DEL MAR CA 92014-3236
3003215619	CURRENT RESIDENT	278 DOLPHIN COVE CT	DEL MAR CA 92014-3236
3003215612	CURRENT RESIDENT	246 DOLPHIN COVE CT	DEL MAR CA 92014-3235
3003215603	CURRENT RESIDENT	298 DOLPHIN COVE CT	DEL MAR CA 92014-3237
3003215637	CURRENT RESIDENT	130 SPINNAKER CT	DEL MAR CA 92014-3218
3003215616	CURRENT RESIDENT	238 DOLPHIN COVE CT	DEL MAR CA 92014-3234
3003215601	CURRENT RESIDENT	296 DOLPHIN COVE CT	DEL MAR CA 92014-3237
3003215645	CURRENT RESIDENT	110 SPINNAKER CT	DEL MAR CA 92014-3218
3003215634	CURRENT RESIDENT	259 STRATFORD CT	DEL MAR CA 92014-3239
3003215662	CURRENT RESIDENT	125 SPINNAKER CT	DEL MAR CA 92014-3218
3003215650	CURRENT RESIDENT	103 SPINNAKER CT	DEL MAR CA 92014-3218
3003215621	CURRENT RESIDENT	280 DOLPHIN COVE CT	DEL MAR CA 92014-3236
3003215660	CURRENT RESIDENT	129 SPINNAKER CT	DEL MAR CA 92014-3218
3003215604	CURRENT RESIDENT	292 DOLPHIN COVE CT	DEL MAR CA 92014-3237
3003215657	CURRENT RESIDENT	135 SPINNAKER CT	DEL MAR CA 92014-3218
3003215651	CURRENT RESIDENT	105 SPINNAKER CT	DEL MAR CA 92014-3218
3003215644	CURRENT RESIDENT	120 SPINNAKER CT	DEL MAR CA 92014-3218
3003215626	CURRENT RESIDENT	222 DOLPHIN COVE CT	DEL MAR CA 92014-3238
3003215658	CURRENT RESIDENT	133 SPINNAKER CT	DEL MAR CA 92014-3218
3003215654	CURRENT RESIDENT	117 SPINNAKER CT	DEL MAR CA 92014-3218
3003215607	CURRENT RESIDENT	248 DOLPHIN COVE CT	DEL MAR CA 92014-3235
3003215653	CURRENT RESIDENT	115 SPINNAKER CT	DEL MAR CA 92014-3218
3003215647	CURRENT RESIDENT	104 SPINNAKER CT	DEL MAR CA 92014-3218
3003215643	CURRENT RESIDENT	118 SPINNAKER CT	DEL MAR CA 92014-3218
3003215633	CURRENT RESIDENT	255 STRATFORD CT	DEL MAR CA 92014-3239
3003215629	CURRENT RESIDENT	245 STRATFORD CT	DEL MAR CA 92014-3240
3003215625	CURRENT RESIDENT	226 DOLPHIN COVE CT	DEL MAR CA 92014-3238
3003215622	CURRENT RESIDENT	286 DOLPHIN COVE CT	DEL MAR CA 92014-3236
3003215613	CURRENT RESIDENT	230 DOLPHIN COVE CT	DEL MAR CA 92014-3234
3003215620	CURRENT RESIDENT	284 DOLPHIN COVE CT	DEL MAR CA 92014-3236
3003215618	CURRENT RESIDENT	240 DOLPHIN COVE CT	DEL MAR CA 92014-3234
3003215611	CURRENT RESIDENT	252 DOLPHIN COVE CT	DEL MAR CA 92014-3235
3003215606	CURRENT RESIDENT	294 DOLPHIN COVE CT	DEL MAR CA 92014-3237
3003450100	CURRENT RESIDENT	2009 DE MAYO RD	DEL MAR CA 92014-3309
3003410600	CURRENT RESIDENT	2042 DE MAYO RD	DEL MAR CA 92014-3310
3003411900	CURRENT RESIDENT	2018 DE MAYO RD	DEL MAR CA 92014-3310
3003214638	CURRENT RESIDENT	253 SEA FOREST CT	DEL MAR CA 92014-3241
3003214629	CURRENT RESIDENT	283 SEA FOREST CT	DEL MAR CA 92014-3243
3003214626	CURRENT RESIDENT	291 SEA FOREST CT	DEL MAR CA 92014-3244
3003214622	CURRENT RESIDENT	275 SEA FOREST CT	DEL MAR CA 92014-3242
3003214624	CURRENT RESIDENT	295 SEA FOREST CT	DEL MAR CA 92014-3244
3003214619	CURRENT RESIDENT	273 SEA FOREST CT	DEL MAR CA 92014-3242
3003214610	CURRENT RESIDENT	233 SEA FOREST CT	DEL MAR CA 92014-3246
3003214630	CURRENT RESIDENT	285 SEA FOREST CT	DEL MAR CA 92014-3244
3003214618	CURRENT RESIDENT	271 SEA FOREST CT	DEL MAR CA 92014-3242
3003214602	CURRENT RESIDENT	279 STRATFORD CT	DEL MAR CA 92014-3248

3003214621	CURRENT RESIDENT	269 SEA FOREST CT	DEL MAR CA 92014-3242
3003214616	CURRENT RESIDENT	227 SEA FOREST CT	DEL MAR CA 92014-3245
3003214636	CURRENT RESIDENT	261 SEA FOREST CT	DEL MAR CA 92014-3241
3003214617	CURRENT RESIDENT	265 SEA FOREST CT	DEL MAR CA 92014-3242
3003214633	CURRENT RESIDENT	279 SEA FOREST CT	DEL MAR CA 92014-3243
3003214634	CURRENT RESIDENT	281 SEA FOREST CT	DEL MAR CA 92014-3243
3003214631	CURRENT RESIDENT	287 SEA FOREST CT	DEL MAR CA 92014-3244
3003214640	CURRENT RESIDENT	257 SEA FOREST CT	DEL MAR CA 92014-3241
3003214615	CURRENT RESIDENT	231 SEA FOREST CT	DEL MAR CA 92014-3245
3003214611	CURRENT RESIDENT	235 SEA FOREST CT	DEL MAR CA 92014-3246
3003214639	CURRENT RESIDENT	255 SEA FOREST CT	DEL MAR CA 92014-3241
3003214632	CURRENT RESIDENT	277 SEA FOREST CT	DEL MAR CA 92014-3243
3003214613	CURRENT RESIDENT	225 SEA FOREST CT	DEL MAR CA 92014-3245
3003214605	CURRENT RESIDENT	273 STRATFORD CT	DEL MAR CA 92014-3247
3003214601	CURRENT RESIDENT	283 STRATFORD CT	DEL MAR CA 92014-3248
3003214620	CURRENT RESIDENT	267 SEA FOREST CT	DEL MAR CA 92014-3242
3003214604	CURRENT RESIDENT	285 STRATFORD CT	DEL MAR CA 92014-3248
3003211700	CURRENT RESIDENT	201 4TH ST	DEL MAR CA 92014-3206
3003215813	CURRENT RESIDENT	234 4TH ST	DEL MAR CA 92014-3254
3003215814	CURRENT RESIDENT	411 STRATFORD CT	DEL MAR CA 92014-2720
3003215810	CURRENT RESIDENT	228 4TH ST	DEL MAR CA 92014-3254
3003215804	CURRENT RESIDENT	216 4TH ST	DEL MAR CA 92014-3254
3003215816	CURRENT RESIDENT	419 STRATFORD CT	DEL MAR CA 92014-2720
3003215807	CURRENT RESIDENT	222 4TH ST	DEL MAR CA 92014-3254
3003215806	CURRENT RESIDENT	220 4TH ST	DEL MAR CA 92014-3254
3003215818	CURRENT RESIDENT	427 STRATFORD CT	DEL MAR CA 92014-2720
3003215805	CURRENT RESIDENT	218 4TH ST	DEL MAR CA 92014-3254
3003215700	CURRENT RESIDENT	425 STRATFORD CT	DEL MAR CA 92014-2759
3003330200	CURRENT RESIDENT	315 EL AMIGO RD	DEL MAR CA 92014-3023
3003330100	CURRENT RESIDENT	445 CAMINO DEL MAR	DEL MAR CA 92014-3003
3003310900	CURRENT RESIDENT	328 EL AMIGO RD	DEL MAR CA 92014-3024
3003311700	CURRENT RESIDENT	505 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003311600	CURRENT RESIDENT	511 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003213018	CURRENT RESIDENT	460 CAMINO DEL MAR	DEL MAR CA 92014-3050
3003311500	CURRENT RESIDENT	517 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003311401	CURRENT RESIDENT	533 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003311402	CURRENT RESIDENT	531 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003214107	CURRENT RESIDENT	503 STRATFORD CT	DEL MAR CA 92014-2722
3003214104	CURRENT RESIDENT	517 STRATFORD CT	DEL MAR CA 92014-2722
3003214110	CURRENT RESIDENT	509 STRATFORD CT	DEL MAR CA 92014-2722
3003214101	CURRENT RESIDENT	511 STRATFORD CT	DEL MAR CA 92014-2722
3003214109	CURRENT RESIDENT	507 STRATFORD CT	DEL MAR CA 92014-2722
3003214103	CURRENT RESIDENT	515 STRATFORD CT	DEL MAR CA 92014-2722
3003214108	CURRENT RESIDENT	505 STRATFORD CT	DEL MAR CA 92014-2722
3003214106	CURRENT RESIDENT	501 STRATFORD CT	DEL MAR CA 92014-2722
3002001600	CURRENT RESIDENT	526 CAMINO DEL MAR	DEL MAR CA 92014-3055
3003311302	CURRENT RESIDENT	541 CAMINO DEL MAR	DEL MAR CA 92014-3005
3003311301	CURRENT RESIDENT	543 CAMINO DEL MAR	DEL MAR CA 92014-3005
3002341200	CURRENT RESIDENT	310 LA AMATISTA RD	DEL MAR CA 92014-3030
3002341300	CURRENT RESIDENT	306 LA AMATISTA RD	DEL MAR CA 92014-3030
3002003500	CURRENT RESIDENT	710 CAMINO DEL MAR	DEL MAR CA 92014-3008
3002002100	CURRENT RESIDENT	624 CAMINO DEL MAR	DEL MAR CA 92014
3002340300	CURRENT RESIDENT	319 7TH ST	DEL MAR CA 92014-3011
3002311000	CURRENT RESIDENT	321 WESLEY WAY	DEL MAR CA 92014
3002311100	CURRENT RESIDENT	721 CAMINO DEL MAR	DEL MAR CA 92014-3007
3002311500	CURRENT RESIDENT	301 8TH ST	DEL MAR CA 92014-2814
3002312300	CURRENT RESIDENT	303 8TH ST	DEL MAR CA 92014-2814
3002311300	CURRENT RESIDENT	305 8TH ST	DEL MAR CA 92014-2814
3002311900	CURRENT RESIDENT	317 8TH ST	DEL MAR CA 92014-2814
3002223200	CURRENT RESIDENT	322 8TH ST	DEL MAR CA 92014-2807
3002223300	CURRENT RESIDENT	807 CAMINO DEL MAR	DEL MAR CA 92014-2810
3003214414	CURRENT RESIDENT	286 SURFVIEW CT	DEL MAR CA 92014-3221
3003214420	CURRENT RESIDENT	274 SURFVIEW CT	DEL MAR CA 92014-3221
3003214405	CURRENT RESIDENT	298 SURFVIEW CT	DEL MAR CA 92014-3221
3003214401	CURRENT RESIDENT	290 SURFVIEW CT	DEL MAR CA 92014-3221
3003214419	CURRENT RESIDENT	276 SURFVIEW CT	DEL MAR CA 92014-3221
3003214410	CURRENT RESIDENT	262 SURFVIEW CT	DEL MAR CA 92014-3221
3003214404	CURRENT RESIDENT	296 SURFVIEW CT	DEL MAR CA 92014-3221
3003213300	CURRENT RESIDENT	167 4TH ST	DEL MAR CA 92014-3210
3003213702	CURRENT RESIDENT	141 4TH ST	DEL MAR CA 92014-3210
3003213601	CURRENT RESIDENT	111 4TH ST	DEL MAR CA 92014-3210
3003213602	CURRENT RESIDENT	115 4TH ST	DEL MAR CA 92014-3210
3003210901	CURRENT RESIDENT	410 STRATFORD CT	DEL MAR CA 92014-2721
3003210902	CURRENT RESIDENT	412 STRATFORD CT	DEL MAR CA 92014-2721
3003213500	CURRENT RESIDENT	156 4TH ST	DEL MAR CA 92014-3230
3003213200	CURRENT RESIDENT	140 4TH ST	DEL MAR CA 92014-3231
3003213100	CURRENT RESIDENT	120 4TH ST	DEL MAR CA 92014-3211
3003213800	CURRENT RESIDENT	108 4TH ST	DEL MAR CA 92014
3003214023	CURRENT RESIDENT	424 STRATFORD CT	DEL MAR CA 92014-2733
3003210300	CURRENT RESIDENT	510 STRATFORD CT	DEL MAR CA 92014-2732
3002002015	CURRENT RESIDENT	519 STRATFORD CT	DEL MAR CA 92014-2744
3005000501	CURRENT RESIDENT	531 STRATFORD CT	DEL MAR CA 92014-2722
3005000301	CURRENT RESIDENT	553 STRATFORD CT	DEL MAR CA 92014-2722
3005000202	CURRENT RESIDENT	601 STRATFORD CT	DEL MAR CA 92014-2724
3005000201	CURRENT RESIDENT	603 STRATFORD CT	DEL MAR CA 92014-2724
3003215902	CURRENT RESIDENT	161 SEA CLIFF WAY	DEL MAR CA 92014-2752
3003215903	CURRENT RESIDENT	151 SEA CLIFF WAY	DEL MAR CA 92014-2752

3003215904	CURRENT RESIDENT	141 SEA CLIFF WAY	DEL MAR CA 92014-2752
3003215901	CURRENT RESIDENT	526 STRATFORD CT	DEL MAR CA 92014-2767
3003210102	CURRENT RESIDENT	522 STRATFORD CT	DEL MAR CA 92014-2723
3003215001	CURRENT RESIDENT	157 6TH ST	DEL MAR CA 92014-2708
3003215102	CURRENT RESIDENT	151 6TH ST	DEL MAR CA 92014-2708
3003215101	CURRENT RESIDENT	149 6TH ST	DEL MAR CA 92014-2708
3003215200	CURRENT RESIDENT	141 6TH ST	DEL MAR CA 92014-2708
3005000102	CURRENT RESIDENT	611 STRATFORD CT	DEL MAR CA 92014-2724
3002001200	CURRENT RESIDENT	615 STRATFORD CT	DEL MAR CA 92014-2707
3001820702	CURRENT RESIDENT	158 6TH ST	DEL MAR CA 92014-2709
3001820800	CURRENT RESIDENT	150 6TH ST	DEL MAR CA 92014-2709
3002001900	CURRENT RESIDENT	703 STRATFORD CT	DEL MAR CA 92014-2700
3001821801	CURRENT RESIDENT	155 7TH ST	DEL MAR CA 92014-2710
3001821802	CURRENT RESIDENT	157 SHERRIE LN	DEL MAR CA 92014-2719
3003215400	CURRENT RESIDENT	127 6TH ST	DEL MAR CA 92014-2708
3003215500	CURRENT RESIDENT	117 6TH ST	DEL MAR CA 92014-2708
3001821001	CURRENT RESIDENT	132 6TH ST	DEL MAR CA 92014-2709
3001821100	CURRENT RESIDENT	126 6TH ST	DEL MAR CA 92014-2709
3001821200	CURRENT RESIDENT	118 6TH ST	DEL MAR CA 92014-2709
3001820902	CURRENT RESIDENT	142 6TH ST	DEL MAR CA 92014-2709
3001821701	CURRENT RESIDENT	149 7TH ST	DEL MAR CA 92014-2710
3001821602	CURRENT RESIDENT	143 SHERRIE LN	DEL MAR CA 92014-2719
3001821401	CURRENT RESIDENT	127 7TH ST	DEL MAR CA 92014-2710
3001821402	CURRENT RESIDENT	125 SHERRIE LN	DEL MAR CA 92014-2719
3001821502	CURRENT RESIDENT	137 SHERRIE LN	DEL MAR CA 92014-2719
3001821300	CURRENT RESIDENT	117 7TH ST	DEL MAR CA 92014-2710
3001811400	CURRENT RESIDENT	156 7TH ST	DEL MAR CA 92014-2711
3001811502	CURRENT RESIDENT	154 LITTLE ORPHAN ALLEY	DEL MAR CA 92014-2711
3001811501	CURRENT RESIDENT	152 7TH ST	DEL MAR CA 92014-2711
3001811702	CURRENT RESIDENT	134 7TH ST	DEL MAR CA 92014-2711
3001811701	CURRENT RESIDENT	136 7TH ST	DEL MAR CA 92014-2711
3001811802	CURRENT RESIDENT	128 LITTLE ORPHAN ALLEY	DEL MAR CA 92014-2750
3001811801	CURRENT RESIDENT	126 7TH ST	DEL MAR CA 92014-2711
3001812101	CURRENT RESIDENT	118 7TH ST	DEL MAR CA 92014-2711
3001812001	CURRENT RESIDENT	110 7TH ST	DEL MAR CA 92014-2711
3001812002	CURRENT RESIDENT	111 LITTLE ORPHAN ALLEY	DEL MAR CA 92014-2750
3002000300	CURRENT RESIDENT	720 CAMINO DEL MAR	DEL MAR CA 92014-3008
3002002800	CURRENT RESIDENT	713 STRATFORD CT	DEL MAR CA 92014-2725
3002002700	CURRENT RESIDENT	711 STRATFORD CT	DEL MAR CA 92014-2725
3002002900	CURRENT RESIDENT	715 STRATFORD CT	DEL MAR CA 92014-2725
3002002600	CURRENT RESIDENT	709 STRATFORD CT	DEL MAR CA 92014-2725
3002003000	CURRENT RESIDENT	717 STRATFORD CT	DEL MAR CA 92014-2725
3002000200	CURRENT RESIDENT	832 HIGHWAY 101	DEL MAR CA 92014
3002002400	CURRENT RESIDENT	832 CAMINO DEL MAR	DEL MAR CA 92014-2808
3001810700	CURRENT RESIDENT	730 STRATFORD CT	DEL MAR CA 92014-2726
3001810602	CURRENT RESIDENT	152 LITTLE ORPHAN ALLEY	DEL MAR CA 92014-2750
3001810601	CURRENT RESIDENT	151 8TH ST	DEL MAR CA 92014-2712
3001810400	CURRENT RESIDENT	129 8TH ST	DEL MAR CA 92014-2712
3001810300	CURRENT RESIDENT	123 8TH ST	DEL MAR CA 92014-2712
3001810100	CURRENT RESIDENT	113 8TH ST	DEL MAR CA 92014-2712
3001741001	CURRENT RESIDENT	134 8TH ST	DEL MAR CA 92014-2713
3001741200	CURRENT RESIDENT	120 8TH ST	DEL MAR CA 92014-2713
3001741100	CURRENT RESIDENT	128 8TH ST	DEL MAR CA 92014-2713
3001741600	CURRENT RESIDENT	147 9TH ST	DEL MAR CA 92014-2714
3001710900	CURRENT RESIDENT	142 9TH ST	DEL MAR CA 92014-2715
3001711001	CURRENT RESIDENT	134 9TH ST	DEL MAR CA 92014-2715
3001711002	CURRENT RESIDENT	138 9TH ST	DEL MAR CA 92014-2715
3001711601	CURRENT RESIDENT	154 9TH ST	DEL MAR CA 92014-2715
3001741800	CURRENT RESIDENT	113 9TH ST	DEL MAR CA 92014-2714
3001711100	CURRENT RESIDENT	128 9TH ST	DEL MAR CA 92014-2715
3001711200	CURRENT RESIDENT	120 9TH ST	DEL MAR CA 92014-2715
3001711302	CURRENT RESIDENT	114 9TH ST	DEL MAR CA 92014-2715