

SEASIDE RIDGE

“LIVE TOGETHER”

A place in the community with:

- Access to coastal resources
- Shared public/ private experiences (public realm)
- A range of affordability
- A diversity of life style experiences

Seaside Ridge provides mixed-income housing for a variety of households and facilitates equitable access to coastal resources through context sensitive design and new public space.

When people from a wide range of socioeconomic backgrounds live together, everyone is lifted.



FRANK + rdc.



ARCHITECTURE | URBAN DESIGN
LANDSCAPE ARCHITECTURE

SEASIDE RIDGE
929 Border Ave, Del Mar, CA, 92075

REVISIONS:
REV:

PROJECT NO: 2022-10.01
DRAWN BY: XI
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:

COVER

CS1.0

SEASIDE RIDGE PARK

A COASTAL EXPERIENCE

Seaside Ridge Park will be publicly-accessible and privately-maintained. It will provide coastal access from Camino Del Mar featuring a series of engaging places that connect residents and visitors. Currently, these coastal resources are not open to the public.



The Gateway



Corner Gathering



Linear Park



The Circle

FRANK + rdc.



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Central Court



Sunset Walk



Shingle Courts

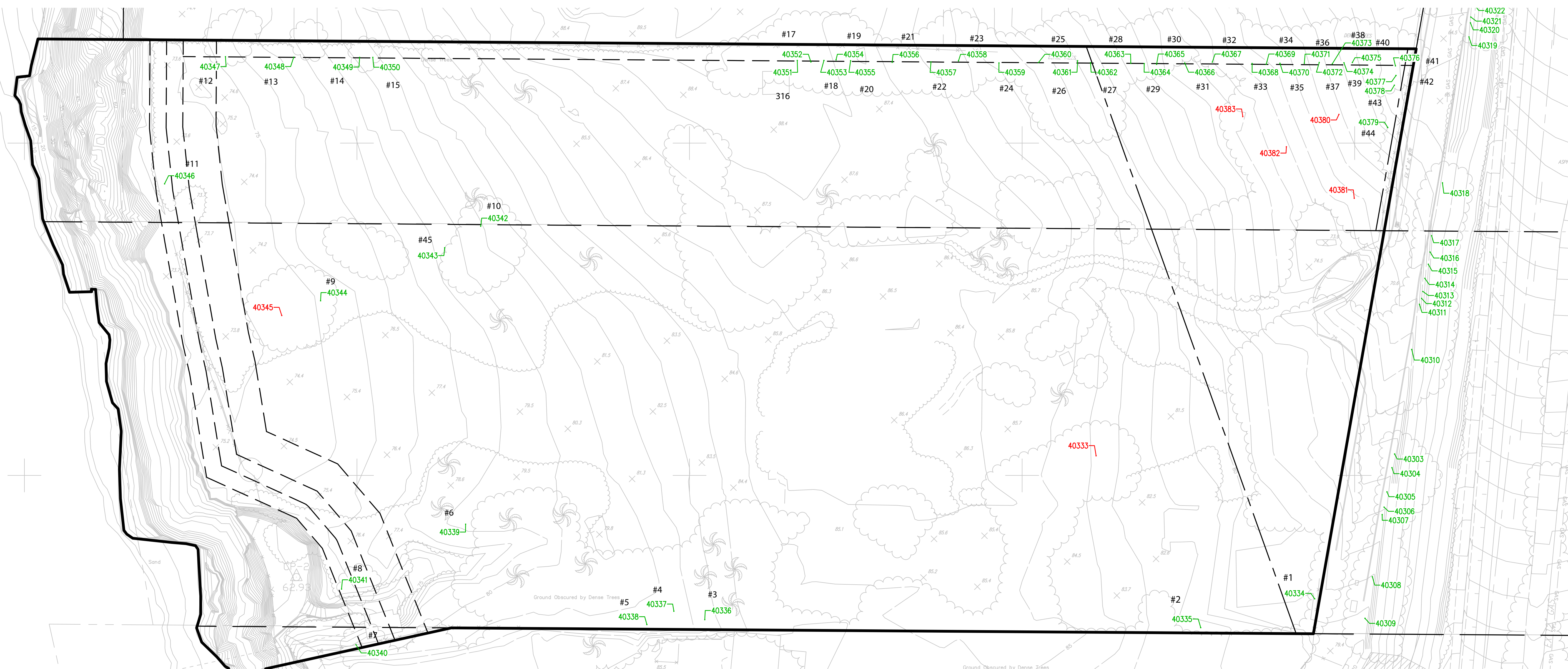
Seaside Ridge proposes an elevated experience that meet the needs of moderate and low-income households, and provides social experiences along landscaped courts and paseos.



Shingle Courts



The Bluffs



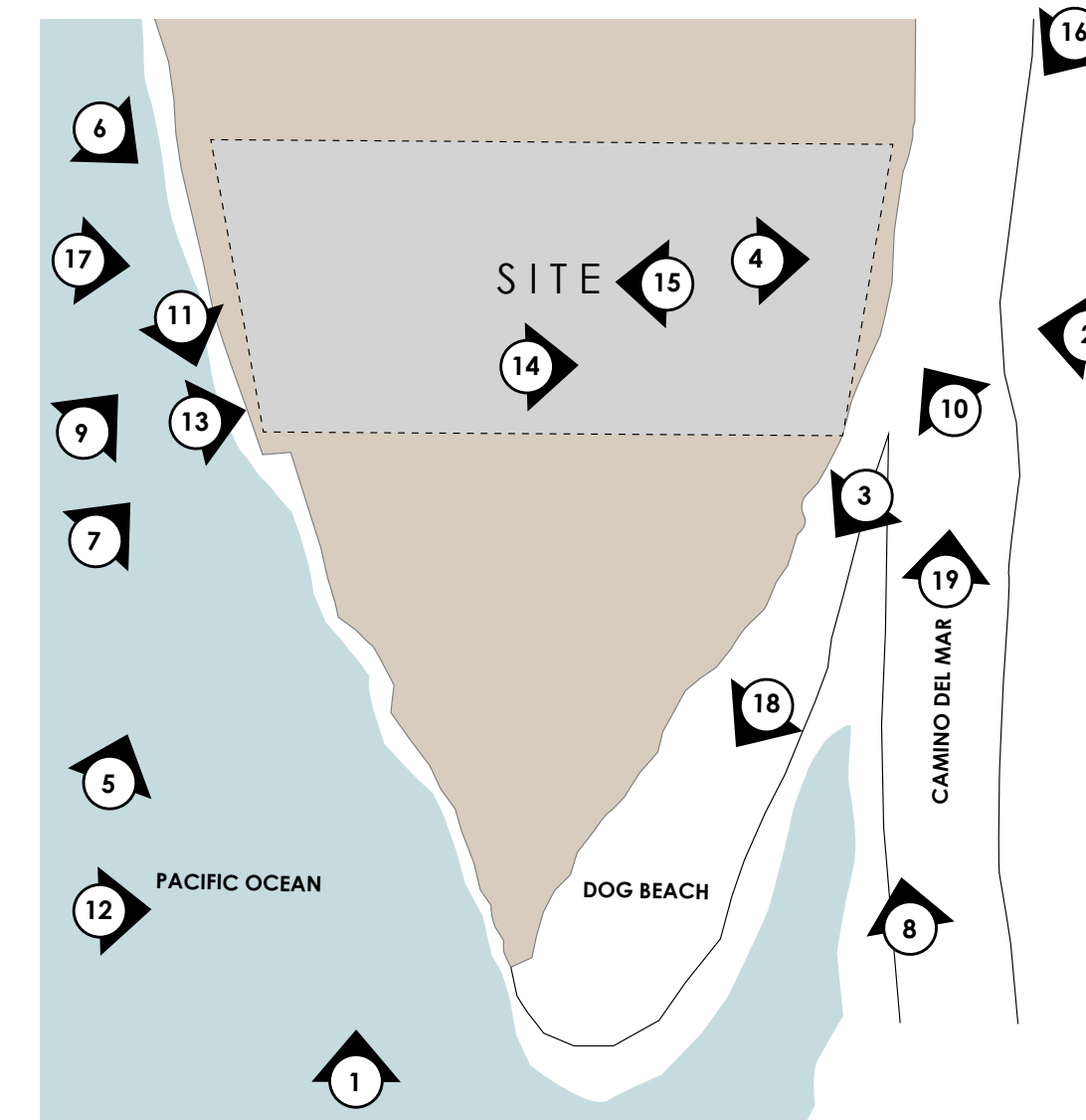
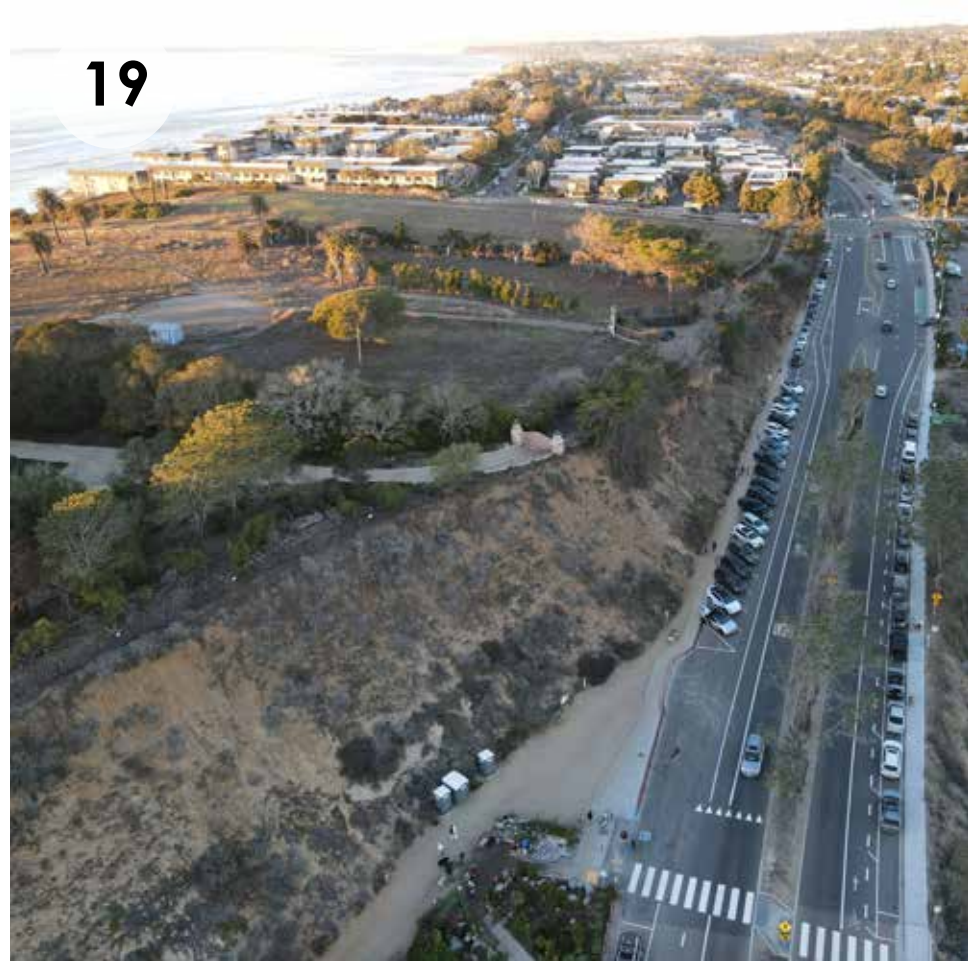
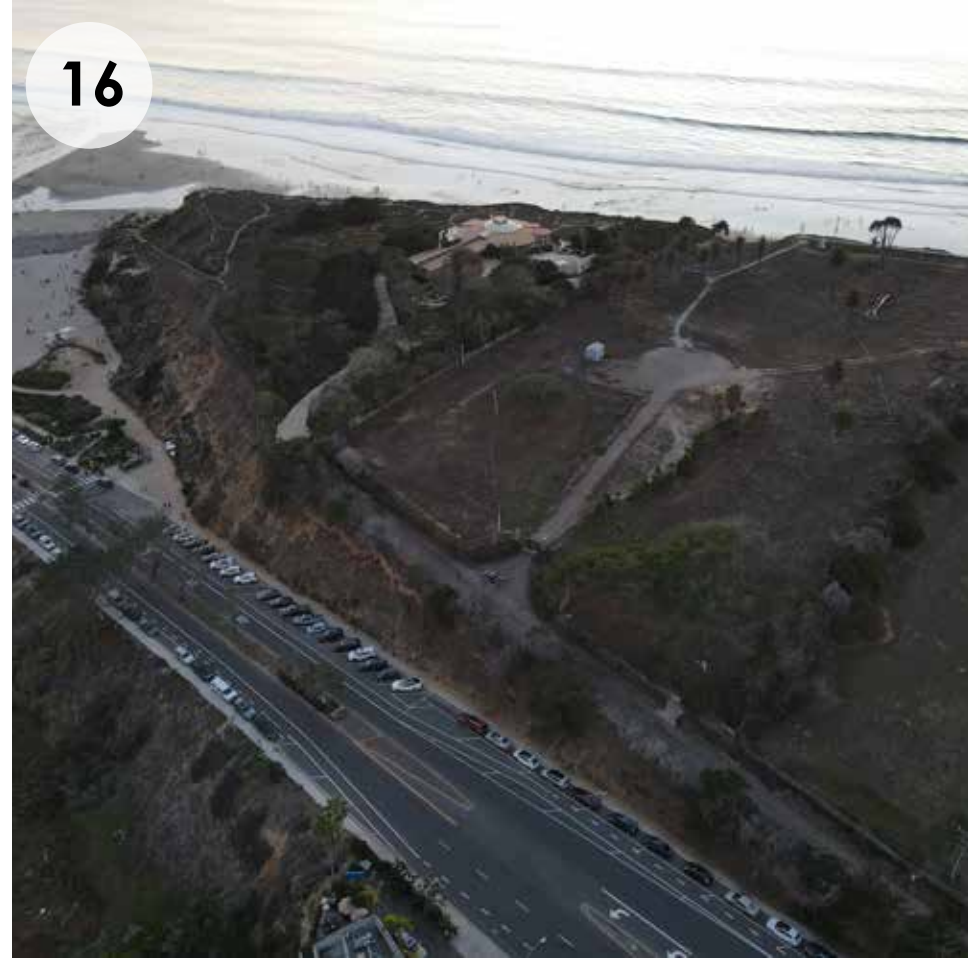
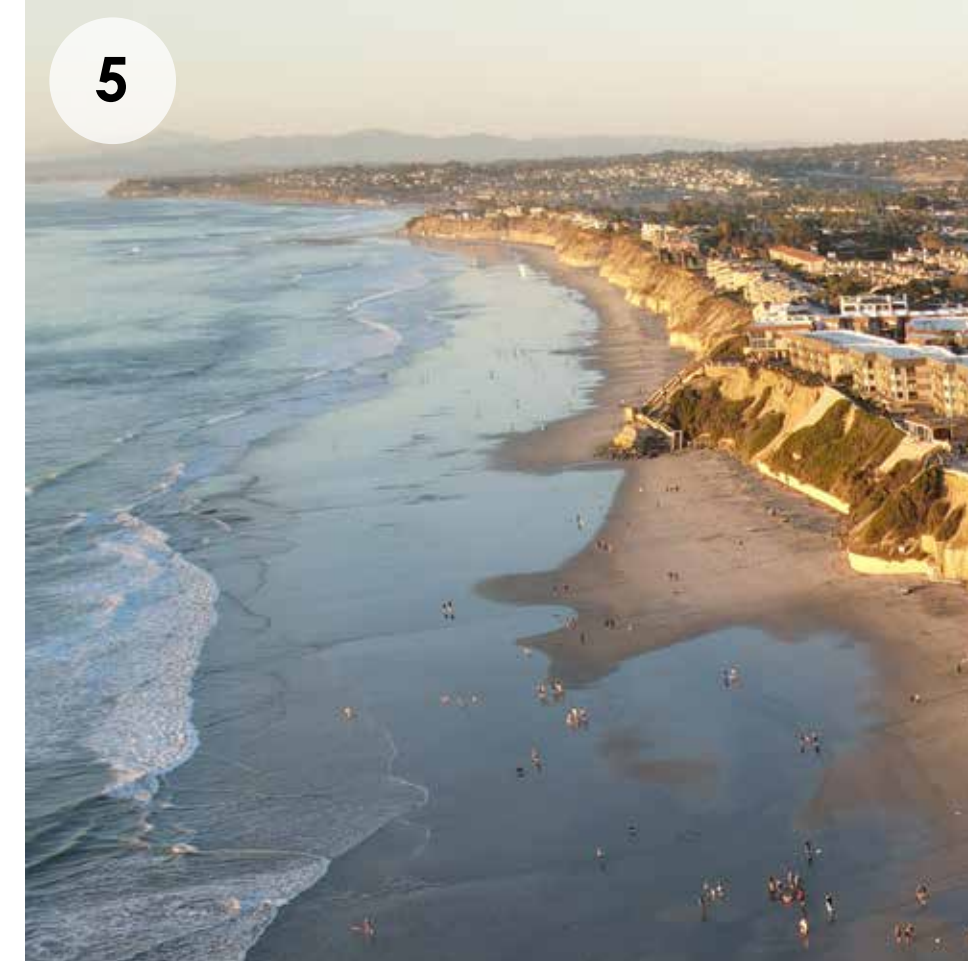
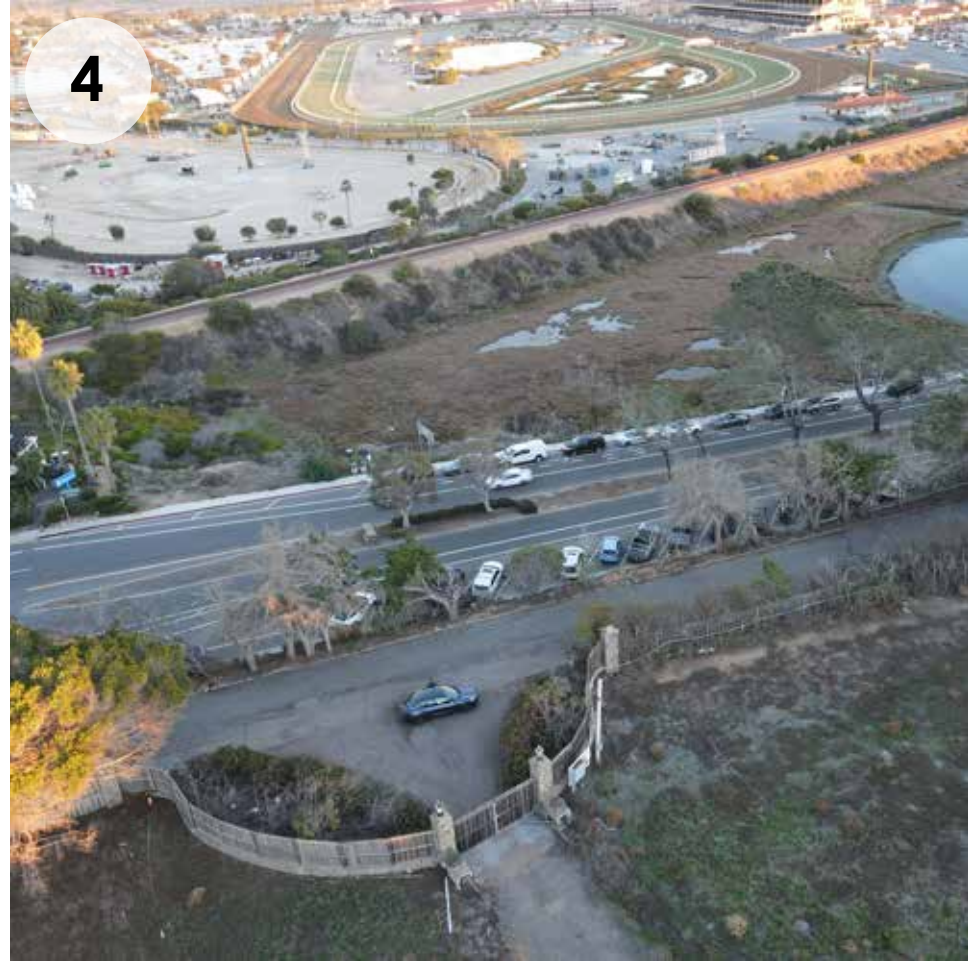
DEL MAR SUB
TREES - AUGUST 13, 2020
 September 13, 2022 updated
 City Protected Trees

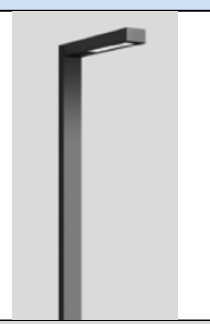






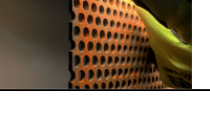




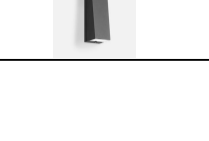

REFERENCE ARBORIST REPORT, SEPT. 13, 2022

POINT NUMBER	NORTHING	EASTING	LATITUDE	LONGITUDE	ELEVATION	DESCRIPTION
Private Parcel						
40312	1937509.092	6249038.999	32.5844	-117.161	73.331	TREE E10 3' DIA
40313	1937513.26	6249039.741	32.5844	-117.161	73.189	TREE E11 3' DIA
40314	1937521.212	6249040.934	32.5844	-117.161	72.824	TREE E12 3' DIA
40315	1937529.663	6249042.994	32.5845	-117.161	72.366	TREE E13 3' DIA
40316	1937536.984	6249044.101	32.5845	-117.161	71.932	TREE E14 2' DIA
40317	1937546.84	6249045.003	32.5845	-117.161	71.286	TREE E15 1' DIA
40318	1937578.625	6249051.535	32.5845	-117.161	70.077	TREE E16 3' DIA
40319	1937666.467	6249067.466	32.5846	-117.161	66.862	TREE E17 3' DIA
40320	1937674.894	6249068.352	32.5846	-117.161	66.416	TREE E18 2' DIA
40321	1937678.395	6249068.562	32.5846	-117.161	66.346	TREE E19 2' DIA
40322	1937686.357	6249070.286	32.5846	-117.161	66.086	TREE E20 2' DIA
40323	1937690.61	6249071.153	32.5846	-117.161	65.975	TREE E21 2' DIA
40324	1937694.237	6249071.449	32.5846	-117.161	65.982	TREE E22 1' DIA
40325	1937887.704	6249058.958	32.5848	-117.161	65.648	TREE E50 3' DIA
40334	1937328.326	6248974.707	32.5843	-117.1611	82.96	TREE #1 3' DIA
40335	1937311.009	6248906.181	32.5842	-117.1612	85.142	TREE #2 4' DIA
40336	1937315.781	6248608.031	32.5842	-117.1615	85.929	TREE #3 1' DIA
40337	1937320.892	6248589.42	32.5842	-117.1615	85.033	TREE #4 3' DIA
40338	1937312.9	6248573.182	32.5842	-117.1615	84.781	TREE #5 3' DIA
40339	1937373.284	6248464.236	32.5843	-117.1617	81.412	TREE #6 2' DIA
40340	1937300.781	6248398.262	32.5842	-117.1618	82.34	TREE #7 1' DIA

40341	1937334.197	6248389.631	32.5843	-117.1618	78.916	TREE #8 3' DIA
40342	1937552.513	6248473.305	32.5845	-117.1617	83.492	TREE #10 5' DIA
40343	1937539.568	6248451.653	32.5845	-117.1617	82.178	TREE #45 4' DIA
40344	1937507.647	6248377.038	32.5844	-117.1618	78.255	TREE #9 6' DIA
40345	1937498.767	6248353.658	32.5844	-117.1618	77.334	Unprotected Star Pine
40346	1937578.015	6248283.192	32.5845	-117.1619	75.462	TREE #11 2' DIA
40347	1937654.5	6248319.809	32.5846	-117.1618	77.623	TREE #12 3' DIA
40348	1937654.261	6248360.887	32.5846	-117.1618	79.583	TREE #13 2' DIA
40349	1937654.082	6248400.488	32.5846	-117.1618	82.143	TREE #14 2' DIA
40350	1937654.112	6248408.402	32.5846	-117.1617	83.094	TREE #15 2' DIA
40351	1937652.263	6248663.619	32.5846	-117.1614	91.468	TREE #16 2' DIA
40352	1937651.353	6248671.804	32.5846	-117.1614	90.686	TREE #17 3' DIA
40353	1937652.272	6248679.639	32.5846	-117.1614	90.383	TREE #18 1' DIA
40354	1937652.612	6248686.942	32.5846	-117.1614	90.244	TREE #19 3' DIA
40355	1937652.101	6248695.674	32.5846	-117.1614	89.81	TREE #20 1' DIA
40356	1937651.134	6248720.655	32.5846	-117.1614	88.99	TREE #21 3' DIA
40357	1937651.4	6248744.029	32.5846	-117.1613	88.586	TREE #22 2' DIA
40358	1937652.015	6248760.566	32.5846	-117.1613	87.598	TREE #23 2' DIA
40359	1937650.758	6248784.888	32.5846	-117.1613	86.258	TREE #24 2' DIA
40360	1937651.008	6248808.63	32.5846	-117.1613	85.226	TREE #25 2' DIA
40361	1937652.091	6248832.143	32.5846	-117.1612	83.36	TREE #26 2' DIA
40362	1937650.942	6248839.934	32.5846	-117.1612	82.882	TREE #27 2' DIA

40363	1937650.535	6248864.138	32.5846	-117.1612	81.316	TREE #28 3' DIA
40364	1937650.391	6248872.197	32.5846	-117.1612	80.485	TREE #29 2' DIA
40365	1937649.929	6248879.675	32.5846	-117.1612	80.3	TREE #30 3' DIA
40366	1937650.737	6248896.567	32.5846	-117.1612	78.741	TREE #31 2' DIA
40367	1937651.249	6248913.141	32.5846	-117.1612	77.678	TREE #32 2' DIA
40368	1937650.421	6248937.062	32.5846	-117.1611	75.885	TREE #33 2' DIA
40369	1937649.959	6248945.554	32.5846	-117.1611	75.329	TREE #34 2' DIA
40370	1937650.559	6248953.81	32.5846	-117.1611	74.572	TREE #35 2' DIA
40371	1937650.553	6248968.495	32.5846	-117.1611	73.373	TREE #36 2' DIA
40372	1937651.03	6248977.421	32.5846	-117.1611	72.872	TREE #37 2' DIA
40373	1937650.18	6248985.266	32.5846	-117.1611	72.365	TREE #38 1' DIA
40374	1937650.83	6248992.306	32.5846	-117.1611	71.723	TREE #39 2' DIA
40375	1937651.003	6248997.333	32.5846	-117.1611	71.26	TREE #40 2' DIA
40376	1937648.982	6249023.271	32.5846	-117.161	69.889	TREE #41 3' DIA
40377	1937643.218	6249023.579	32.5846	-117.161	70.233	TREE #42 1' DIA
40378	1937637.369	6249022.631	32.5846	-117.161	70.816	TREE #43 2' DIA
40379	1937611.893	6249018.645	32.5845	-117.161	71.989	TREE #44 2' DIA
40380	1937619.804	6248989.292	32.5845	-117.1611	73.594	Unprotected Stone Pine
40381	1937569.338	6248998.501	32.5845	-117.161	75.076	Unprotected Stone Pine
40382	1937600.323	6248957.673	32.5845	-117.1611	76.634	Unprotected Stone Pine
40383	1937618.479	6248931.494	32.5845	-117.1611	78.174	Unprotected Stone Pine



SEASIDE RIDGE - DEL MAR - EXTERIOR LIGHTING									
LUMINAIRE SCHEDULE									
TYPE	MOUNTING	DESCRIPTION	SPECIFICATION	LUMENS/ CCT/ CRI	POWER/ DIMMING	REMOTE DRIVER REQUIRED?	FINISH	PRODUCT IMAGE	LOCATION
F01 F01E	IN-GROUND POST	EXTERIOR SINGLE SQUARE STRAIGHT WOOD ACCENT POLE AND A CANTILEVER FULL CUTOFF ASYMMETRIC WIDE BEAM DISTRIBUTION HEAD. NOMINALLY 4IN WIDE X MODIFIED 14FT TALL X 3.5FT DEEP. MAXIMUM POLE HEIGHT OF 15 FT INCLUDING BASE PER DEL MAR ORDINANCE. UL WET LOCATION LISTED. MAXIMUM CALGREEN BUG B2-U0-G1 RATING. MODIFIED SPEC FROM BEGA WITH ANCHORAGE KIT TO MOUNT HEAD TO POLE.	BEGA HEAD: 84126 POLE: 98528 MOD: MOD04242	4781LM 2700K 80 CRI	40W 120V / 277V DIMMABLE 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK, WOOD TBD		PARKING LOT
F02 F02E	SURFACE WALL	ANGLE PROFILED LED LUMINAIRE WITH DIRECT DOWN ILLUMINATION. NOMINALLY 4.5IN WIDE X 7.5IN TALL X 4.5IN DEEP. FULL CUTOFF TYPE 2 DISTRIBUTION. UL WET LOCATION LISTED. MAXIMUM CALGREEN B1-U0-G0 BUG RATING. F02E (SHADED): CONNECTED TO BUILDING EMERGENCY POWER SOURCE CAPABLE OF 90-MINUTE OPERATION.	BEGA 33-814-K27-"FINISH"	775LM 2700K 80 CRI	11W 120-277VAC DIMMING 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK		ELEVATOR ENTRIES
F03	SURFACE GROUND	ROUND BOLLARD WITH WOOD ACCENT AND A FULL CUTOFF SHIELDED LIGHT HEAD OF 360 DEGREE BEAM DISTRIBUTION AND SAFETY GUARD. NOMINALLY 7.5IN DIAMETER X 32IN TALL. MAXIMUM BUG RATING OF B1-U0-G0. UL WET LISTED.	BEGA HEAD: 99-862-K27-"FINISH" POST: 84-464-"FINISH"	1200LM 2700K 80 CRI	19.8W 120V / 277V DIMMABLE 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK, WOOD TBD		DRIVE TURN ABOUTS
F03A	SURFACE GROUND	SIMILAR TO FIXTURE TYPE "F03" EXCEPT WITH A 180 DEGREE BEAM DISTRIBUTION LIGHT HEAD.	BEGA HEAD: 99-862-K27-"FINISH"-MOD 180 POST: 84-464-"FINISH"	600LM 2700K 80 CRI	12W 120V / 277V DIMMABLE 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK, WOOD TBD		PRIMARY WALKWAYS
F03B	SURFACE GROUND	SIMILAR TO FIXTURE TYPE "F03" EXCEPT WITH A 90 DEGREE BEAM DISTRIBUTION LIGHT HEAD.	BEGA HEAD: 99-862-K27-"FINISH"-MOD 90 POST: 84-464-"FINISH"	400LM 2700K 80 CRI	10W 120V / 277V DIMMABLE 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK, WOOD TBD		SOUTH WALKWAY
F04	IN-GROUND STAKE	SLEEK LINEAR PATH LIGHT WITH SOFT, DIRECT FULL CUTOFF ILLUMINATION. MOUNTING STAKE WITH STABILITY FLANGE. NOMINALLY 1IN WIDE X 24IN TALL X 6.5IN DEEP. UL WET LOCATION LISTED. MAXIMUM CALGREEN BUG RATING OF B0-U1-G0.	WAC FIXTURE: 6061-27-"FINISH" ACCESSORY: 9000-ST9-BK	275 LM 2700K 90 CRI	6.5W 9-15VAC DIMMABLE	<input checked="" type="checkbox"/>	BLACK		SECONDARY WALKWAYS
F05	IN-GROUND STAKE	LOW PROFILE LINEAR PATH LIGHT WITH WIDE FLOOD BEAM DISTRIBUTION AND ADJUSTABLE ANTI-GLARE SHROUD. MOUNTED WITH 4IN RISER. NOMINALLY 7IN WIDE X 2IN DEEP. UL WET LOCATION LISTED. MAXIMUM CALGREEN BUG RATING OF B0-U1-G0.	WAC 6401-27-"FINISH"	190LM 2700K 90 CRI	6W 9-15VAC DIMMABLE	<input checked="" type="checkbox"/>	BLACK		BLUFF TOP PATHWAY
F06	IN-GROUND STAKE	LOW VOLTAGE LANDSCAPE ACCENT UPLIGHT WITH ANGLED GLARE SHIELD. ADJUSTABLE AND LOCKABLE BEAM ANGLE BETWEEN 10 TO 60 DEGREES. NOMINALLY 3IN IN DIAMETER X 6IN TALL X 6IN LONG. INTEGRAL DIMMER. UL WET LISTED. MAXIMUM CALGREEN BUG RATING OF B1-U1-G0.	WAC FIXTURE: 5011-27-BK ACCESSORY: LENS-20-FR ACCESSORY: 9000-SP9-BZ	580LM 2700K 85+ CRI	9W 12V DIMMABLE	<input checked="" type="checkbox"/>	BLACK		LANDSCAPE UPLIGHT
F07	SURFACE UNDER CURB	LINEAR LED EXTERIOR RATED COB TAPE LIGHT WITH SLIM CHANNEL AND DIFFUSE LENS. NOMINALLY 0.8IN WIDE X 0.4IN DEEP X CONTINUOUS LENGTHS PER PLANS. UL WET LOCATION LISTED. DIMMED TO 50% OUTPUT.	DIODE TAPE: DI-24V-STMLT-27-"LENGTH"-SL-BL-MC-DRIVER-MOD OUTPUT CHANNEL: DI-CPCB-SL-"LENGTH" OR ALTERNATE - CORE LIGHTING EQUIVALENT	110LM/FT 2700K 90 CRI	3.3W/FT 24V DIMMING ELV	<input checked="" type="checkbox"/>	BLACK		SOUTH EDGE FLAT WALKWAY
F08	SURFACE	160 DEGREE WIDE BEAM DUO LED LIGHT MODULES FOR BACKLIT SIGNAGE. PROVIDE WITH MOUNTING CLIPS AND END CAPS. NOMINALLY 2.5IN WIDE X 0.75IN TALL X 0.4IN DEEP. UL WET LISTED. CONFIGURATION PER SIGNAGE FABRICATOR. LENGTHS TO BE DETERMINED IN THE FIELD.	CORE LIGHTING LSD50-27K-24-"LENGTH"	360LM/FT 2700K 90 CRI	4.4W/FT 24V DIMMING ELV	<input checked="" type="checkbox"/>			PRIMARY SIGNAGE
F09	RECESSED WALL/ PLANTER	REGRESSED HORIZONTAL STEP LIGHT WITH REGRESSED FROSTED GLASS LENS. NOMINALLY 13IN WIDE X 5IN TALL X 5.5IN DEEP. ASYMMETRIC FULL CUTOFF FORWARD THROW DISTRIBUTION. CONCEALED TAMPER RESISTANT HARDWARE. MAXIMUM BUG RATING B0-U2-G2. UL WET LOCATION LISTED.	BEGA 33-058-K27-"FINISH"	1,000LM 2700K 90 CRI	15W 120V / 277V	<input type="checkbox"/>	MARINE GRADE BLACK		RETAINING WALL 3FT AFF
F10	INTEGRATED HANDRAIL	INTEGRATED LED POD LIGHTS IN HANDRAIL. CLEAR ANODIZED ALUMINUM BODY. ASYMMETRIC FORWARD THROW DOWNLIGHT OUTPUT TOWARDS STAIRWAY SIDE OF RAILING. CLEAR LENS. 2FT O.C SPACING. UL WET LISTED. PROVIDE SHOP DRAWINGS SHOWING LOCATIONS INTEGRATING INTO HANDRAIL.	WANGER PODS LULF-27K-70-5	255.2 LM PER NODE 2700K 80+ CRI	2.2W PER NODE 24V 0-10V DIMMING	<input checked="" type="checkbox"/>	STAINLESS STEEL		HANDRAIL
U01	SURFACE CEILING	SURFACE MOUNTED LED DOWNLIGHT WITH 30 DEGREE WIDE BEAM DISTRIBUTION. NOMINALLY 4IN IN DIAMETER X 4.5IN DEEP. UL WET LISTED. MAXIMUM BUG RATING B1-U0-G0.	BEGA 24-404-K27-"FINISH"	400LM 2700K 90+ CRI	6W 120 - 277V DIMMING 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK		UNIT BALCONIES WITH OVERHANG
U02	SURFACE WALL	SLIM FULL CUTOFF WALL SCONCE DOWNLIGHT. NOMINALLY 2IN WIDE X 7IN TALL X 2.5IN DEEP. UL WET LOCATION LISTED. MAXIMUM BUG RATING B1-U0-G0.	BEGA 33-514-K27-"FINISH"	200LM 2700K 90+ CRI	5.8W 120 - 277V DIMMING 0-10V	<input type="checkbox"/>	MARINE GRADE BLACK		UNIT BALCONIES NO OVERHANG

NOTES

- ALL LIGHTS TO BE FLICKER-FREE DIMMABLE LED
- ALL LIGHTS AND COMPONENTS TO COMPLY WITH CALIFORNIA TITLE 20 AND TITLE 24
- ALL EXTERIOR LIGHTS TO BE FULL CUTOFF, SHIELDED, LOW-GLARE FIXTURES AIMED AT GROUND WITHIN PROPERTY BOUNDARIES.
- ALL LOW VOLTAGE LIGHTING REQUIRES REMOTE TRANSFORMER, SIZED ACCORDINGLY, IN ACCESSIBLE LOCATION.
- LINEAR TAPE LIGHT ACCESSORIES AND LENGTH TO BE PROVIDED ACCORDING TO FIELD REQUIREMENTS.
- ALL LIGHTING SUBMITTALS AND QUESTIONS SHALL BE DIRECTED TO THE LIGHTING DESIGNER, NOCTILUCA LIGHTING, INFO@NOCTILUCALIGHTING.COM
- ALL FIXTURE TYPES ARE "OR APPROVED EQUIVALENT" UNLESS NOTED OTHERWISE. ANY ALTERNATES SHALL BE PROVIDED TO DESIGN TEAM FOR REVIEW A MINIMUM 5 DAYS PRIOR TO SUBMITTALS ISSUED.**
- ALL EXTERIOR UPLIGHTS TO TURN OFF AT 11PM PER SAN DIEGO COUNTRY REGULATIONS
- ALL EXTERIOR MOUNTED LUMINAIRES AND LAMP TYPES SHALL COMPLY WITH CITY OF SAN DIEGO OUTDOOR LIGHTING REGULATIONS 142.740
- MAXIMUM KELVINS TO NOT EXCEED 2700K PER DEL MAR CITY PROVISION 30.92.040(6)a
- MAXIMUM POLE HEIGHT OF 15 FT (INCLUDING BASES) PER DEL MAR CITY PROVISIONS



REVISIONS:

PROJECT NO: 23-002
DRAWN BY: LS
REVIEWED BY: Checker
DATE: 03/20/2023

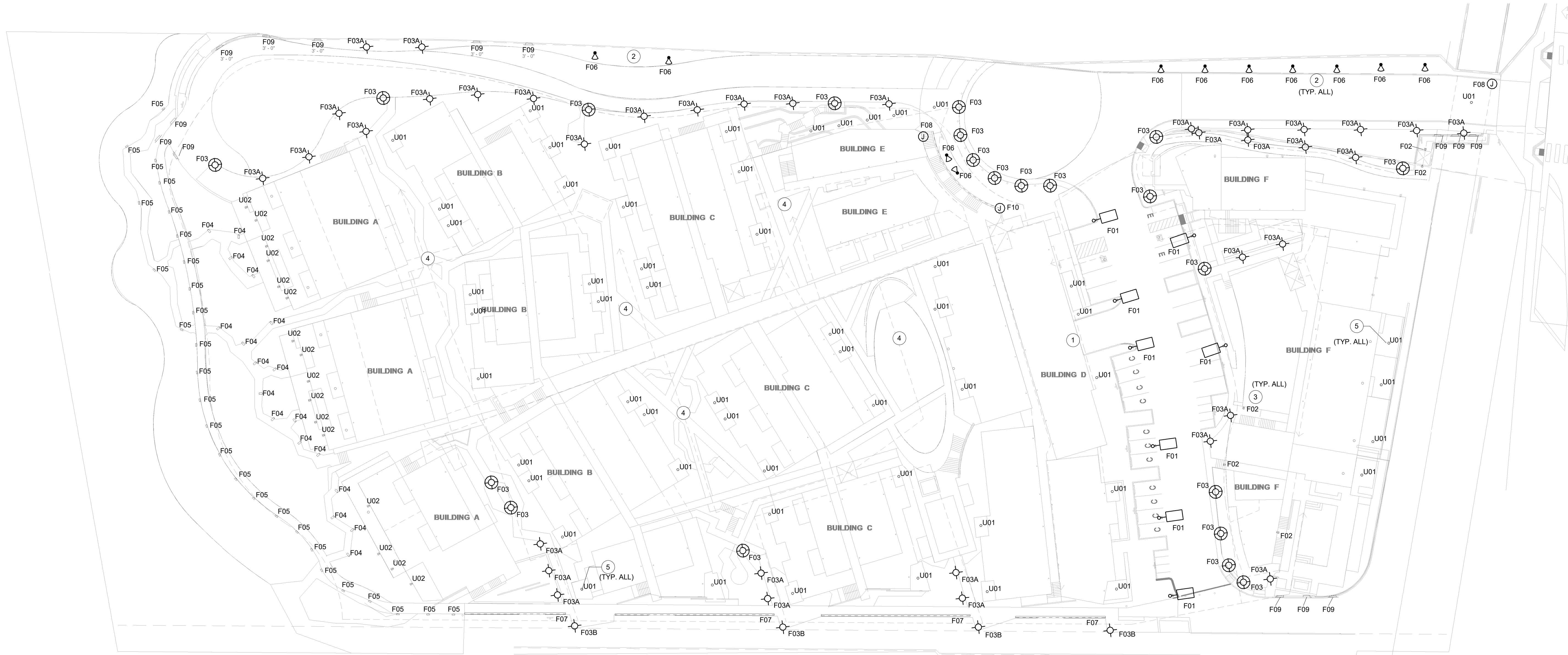
SHEET NAME:
LIGHTING
FIXTURE
SCHEDULE

- KEYNOTES
- 1 LIGHTING AT ENTRANCE TO PARKING GARAGE TO BE ON DURING THE DAY AND TURN AUTO-OFF AT DUSK. LIGHTING TO TURN AUTO-ON AT SUNRISE.
 - 2 LANDSCAPE LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL AND ASTRONOMICAL TIMELOCK - OPERATION TO TURN ON AT DUSK AND TURN OFF AT 11PM.
 - 3 ALL BUILDING MOUNTED LIGHTING TO BE CONTROLLED VIA ASTRONOMICAL TIMELOCK AND BUILDING PHOTOCELL. BUILDING MOUNTED LIGHTING TO TURN ON AT DUSK AND TURN OFF AT SUNRISE.
 - 4 EXTERIOR LIGHTING IN THIS AREA NOT SHOWN ON PLANS AS IT DOES NOT CONTRIBUTE TO PROPERTY BOUNDARY SPILL LIGHT. ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED, FULL CUTOFF, DOWNLIGHT DISTRIBUTION.
 - 5 UNIT PATIO DOWNLIGHTS TO BE CONTROLLED VIA LOCAL CONTROL INSIDE THE UNIT. PHOTOCELL TO ONLY ALLOW THE CIRCUIT TO BE ENERGIZED AT NIGHT.

FRANK + rdc.



ARCHITECTURE | URBAN DESIGN | LANDSCAPE ARCHITECTURE
NOCTILUCA
 LIGHTING DESIGN AND CONSULTING



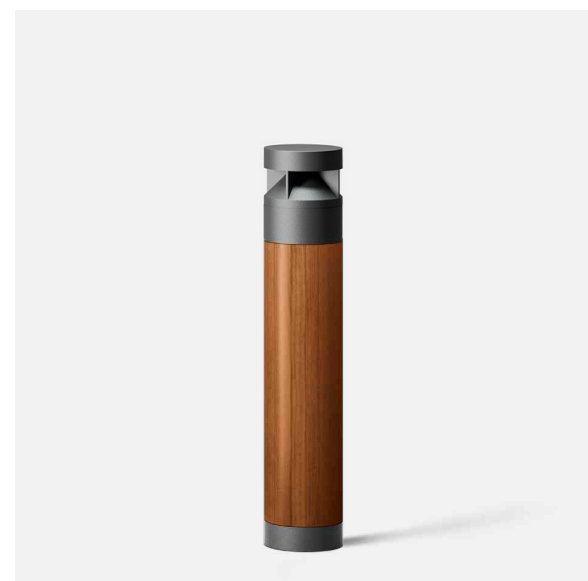
1 LEVEL 1 - LIGHTING PLAN
 1" = 30'-0"



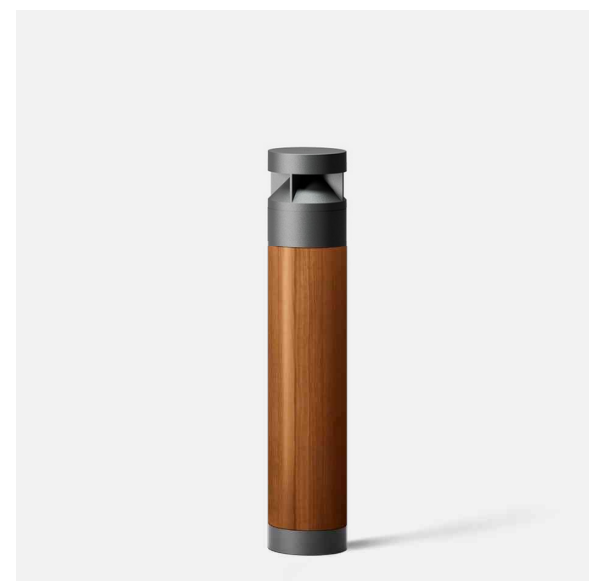
F01 POLE LIGHT WITH WOODEN POLE



F02 EXTERIOR WALL SCENCE



F03 ROUND BOLLARD WITH WOODEN POST - 360 DEGREES



F03A ROUND BOLLARD WITH WOODEN POST - 180 DEGREES



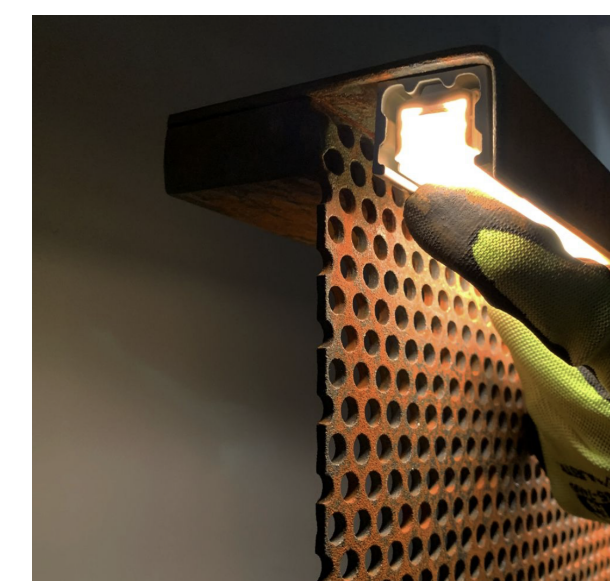
F04 LINEAR PATH LIGHT



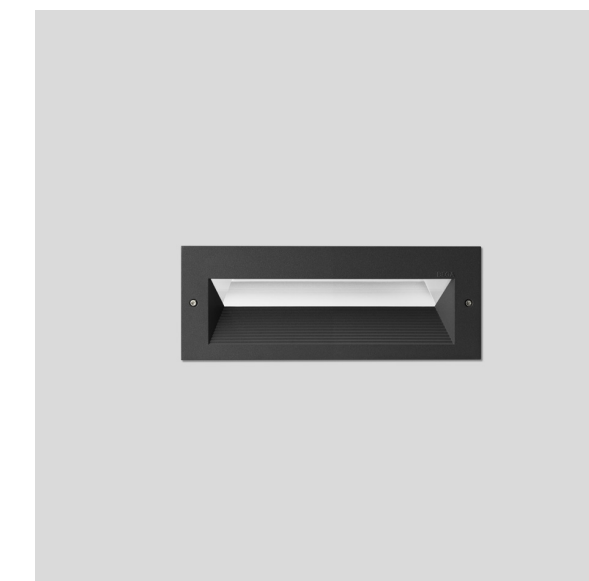
F05 LOW PROFILE LINEAR PATH LIGHT



F06 LANDSCAPE ACCENT UPLIGHT



F07 EXTERIOR RATED COB TAPE LIGHT MOUNTED TO 12IN CURB



F09 STEPLIGHT



U01 SURFACE DOWNLIGHT



U02 WALL SCENCE

SEASIDE RIDGE

929 Border Ave, Del Mar, CA 92025

REVISIONS:

PROJECT NO: 23-002
 DRAWN BY: LS
 REVIEWED BY: Checker
 DATE: 03/20/2023

SHEET NAME:
 LEVEL +1
 LIGHTING PLAN

EL-1.1

- KEYNOTES
- 1 UNIT PATIO DOWNLIGHTS TO BE CONTROLLED VIA LOCAL CONTROL INSIDE THE UNIT. PHOTOCELL TO ONLY ALLOW THE CIRCUIT TO BE ENERGIZED AT NIGHT.
 - 2 EXTERIOR LIGHTING IN THIS AREA NOT SHOWN ON PLANS AS IT DOES NOT CONTRIBUTE TO PROPERTY BOUNDARY SPILL LIGHT. ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED, FULL CUTOFF, DOWNLIGHT DISTRIBUTION.



1 LEVEL 2 - LIGHTING PLAN
1" = 30'-0"



U01 SURFACE MOUNT DOWNLIGHT



U02 WALL SCONCE

REVISIONS:

PROJECT NO: 23-002
DRAWN BY: LS
REVIEWED BY: Checker
DATE: 03/20/2023

SHEET NAME:
LEVEL +2
LIGHTING PLAN

- KEYNOTES
- 1 UNIT PATIO DOWNLIGHTS TO BE CONTROLLED VIA LOCAL CONTROL INSIDE THE UNIT. PHOTOCELL TO ONLY ALLOW THE CIRCUIT TO BE ENERGIZED AT NIGHT.
 - 2 EXTERIOR LIGHTING IN THIS AREA NOT SHOWN ON PLANS AS IT DOES NOT CONTRIBUTE TO PROPERTY BOUNDARY SPILL LIGHT. ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED, FULL CUTOFF, DOWNLIGHT DISTRIBUTION.



1 LEVEL 3 - LIGHTING PLAN
1" = 30'-0"



U01 SURFACE MOUNT DOWNLIGHT



U02 WALL SCONCE



REVISIONS:

PROJECT NO: 23-002
DRAWN BY: LS
REVIEWED BY: Checker
DATE: 03/20/2023

SHEET NAME:
LEVEL +3
LIGHTING PLAN

- KEYNOTES
- 1 UNIT PATIO DOWNLIGHTS TO BE CONTROLLED VIA LOCAL CONTROL INSIDE THE UNIT. PHOTOCELL TO ONLY ALLOW THE CIRCUIT TO BE ENERGIZED AT NIGHT.
 - 2 EXTERIOR LIGHTING IN THIS AREA NOT SHOWN ON PLANS AS IT DOES NOT CONTRIBUTE TO PROPERTY BOUNDARY SPILL LIGHT. ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED, FULL CUTOFF, DOWNLIGHT DISTRIBUTION.



1 LEVEL 4 - LIGHTING PLAN
1" = 30'-0"



U01 SURFACE MOUNT DOWNLIGHT



U02 WALL SCONCE



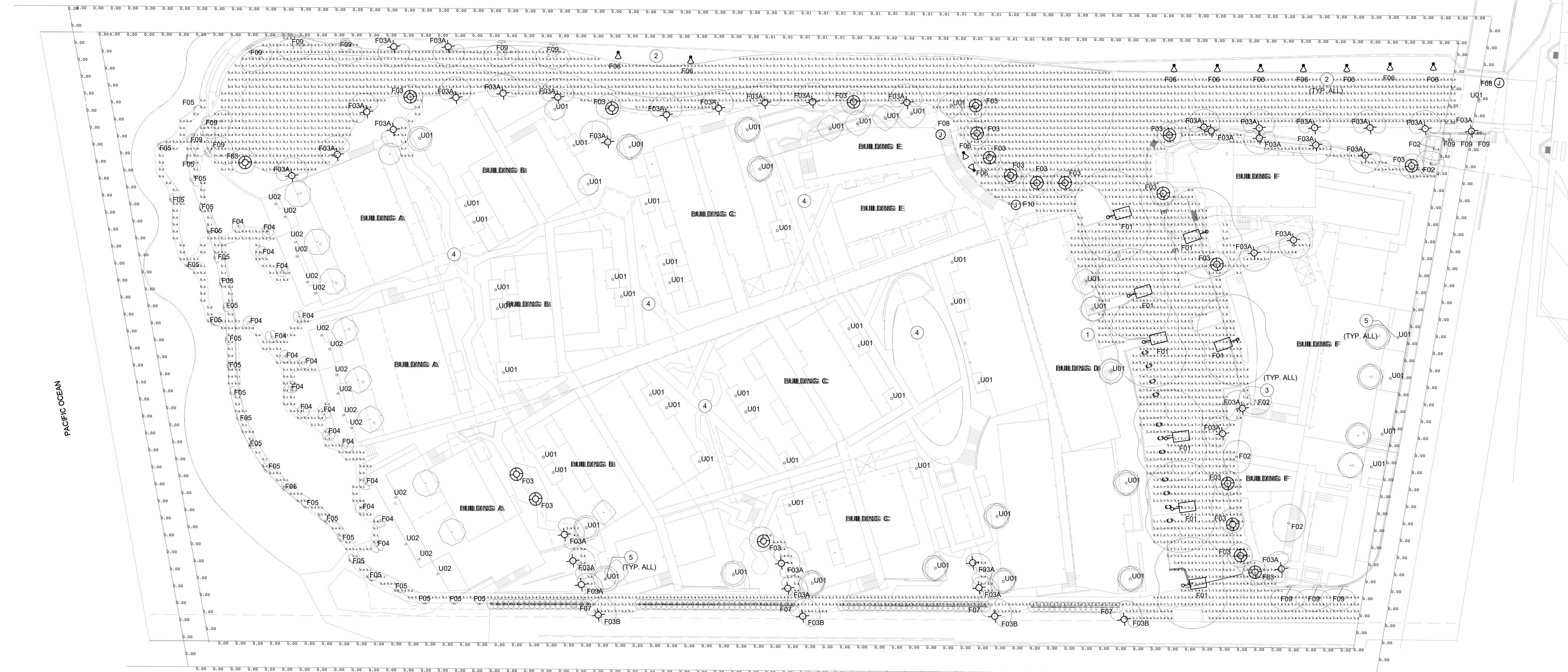
REVISIONS:

PROJECT NO: 23-002
DRAWN BY: LS
REVIEWED BY: Checker
DATE: 03/20/2023

SHEET NAME:
LEVEL +4
LIGHTING PLAN

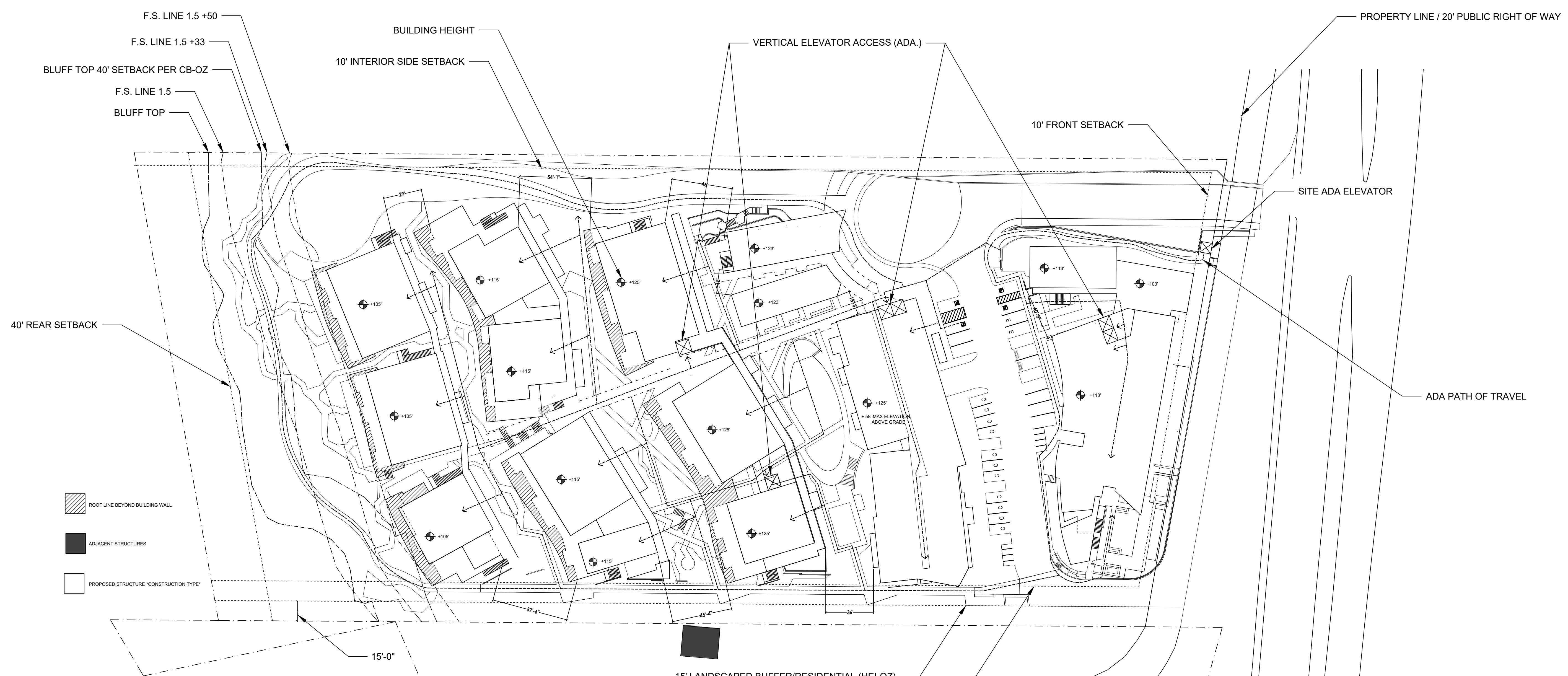
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
EAST HORIZ - PROP BOUND +HSFT	Maintenance	Fc	0.00	0.00	0.00	NA	NA
EAST HORIZ - PROP BOUND	Maintenance	Fc	0.00	0.00	0.00	NA	NA
EAST VERT - PROP BOUND +HSFT	Maintenance	Fc	0.04	0.20	0.00	NA	NA
EAST VERT - PROP BOUND	Maintenance	Fc	0.00	1.00	0.00	NA	NA
ELEV BL 2	Maintenance	Fc	11.70	11.7	11.7	1.00	1.00
ELEV BL 1	Maintenance	Fc	11.00	11.0	11.0	1.00	1.00
NORTH HORIZ - PROP BOUND +HSFT	Maintenance	Fc	0.00	0.00	0.00	NA	NA
NORTH HORIZ - PROP BOUND	Maintenance	Fc	0.00	0.00	0.00	NA	NA
NORTH VERT - PROP BOUND +HSFT	Maintenance	Fc	0.01	0.07	0.00	NA	NA
NORTH VERT - PROP BOUND	Maintenance	Fc	0.00	0.20	0.00	NA	NA
SOUTH HORIZ - PROP BOUND +HSFT	Maintenance	Fc	0.00	0.00	0.00	NA	NA
SOUTH HORIZ - PROP BOUND	Maintenance	Fc	0.00	0.00	0.00	NA	NA
SOUTH VERT - PROP BOUND +HSFT	Maintenance	Fc	0.00	0.00	0.00	NA	NA
SOUTH VERT - PROP BOUND	Maintenance	Fc	0.00	0.00	0.00	NA	NA
WALKWAYS	Maintenance	Fc	1.31	28.0	0.0	NA	NA
WEST HORIZ - BLUFF TOP +HSFT	Maintenance	Fc	0.00	0.00	0.00	NA	NA
WEST HORIZ - BLUFF TOP	Maintenance	Fc	0.00	0.00	0.00	NA	NA
WEST VERT - BLUFF TOP +HSFT	Maintenance	Fc	0.02	0.05	0.00	NA	NA
WEST VERT - BLUFF TOP	Maintenance	Fc	0.00	0.00	0.00	2.00	5.00
FIRE LANE - NORTH	Maintenance	Fc	0.60	25.4	0.0	NA	NA
PARKING LOT	Maintenance	Fc	1.60	5.0	0.0	3.00	10.00




Symbol	Tag	Description	Luminaire	Luminaire Width	LED	LDD	BF	UDF	LLF	RLC Rating
F01	PARKING LOT POLE LIGHT		F01	40	0.950	0.800	1.000	1.000	0.700	02-00-G1
F02	WALL SCHEME		F02	11	0.850	0.800	1.000	1.000	0.700	01-00-00
F03	ROUNDED 180 ASYMMETRIC - PHOTAIRED TO 1200		F03	18.0	0.850	0.800	1.000	1.000	0.700	01-00-00
F04	ROUNDED 180 ASYMMETRIC - PHOTAIRED TO 411		F04	12	0.850	0.800	1.000	1.400	1.100	00-02-G1
F05	ROUNDED 180 ASYMMETRIC - PHOTAIRED TO 190		F05	6	0.850	0.800	1.000	1.000	0.700	00-02-G1
F06	PAR LIGHT (LOW VOLTAGE)		F06	230	4.5	0.850	0.800	1.000	1.000	00-01-00
F07	LOW VOLT PAR LIGHT (LOW VOLTAGE)		F07	190	6	0.850	0.800	1.000	1.000	00-01-00
F08	OSB LED VARE LIGHT - DERATED TO 1100 MFT FOR 5 FT (DIMMED TO 50%)		F08	5.0	0.850	0.800	1.000	0.250	0.100	NA
F09	STEP LIGHT		F09	150	15	0.850	0.800	1.000	1.000	00-02-G2
U01	UNIT PANO SCENALIGHT - DERATED TO 400LMS		U01	6"	0.850	0.800	1.000	0.400	0.200	01-00-00
U02	UNIT PANO WALL SCHEME		U02	204	5.8	0.850	0.800	1.000	1.000	00-00-00

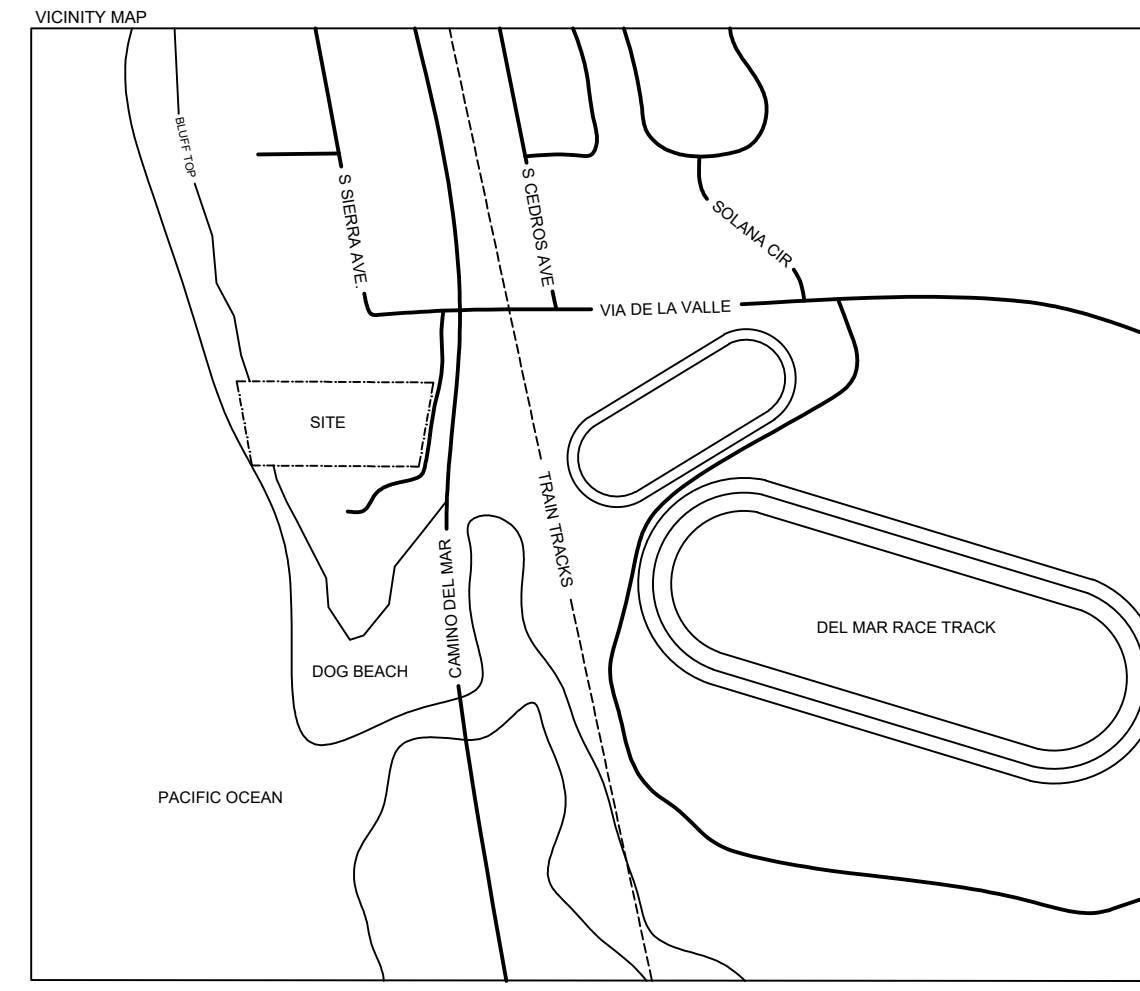


1 SITE LIGHTING PHOTOMETRIC PLAN
 1" = 30'-0"

RED ISOLINES INDICATE EXTENT OF 0.5FC CONTRIBUTION FOR EACH INDIVIDUAL FIXTURE.
 REFER TO REFERENCE REPORT "SEASIDE RIDGE - PHOTOMETRIC ANALYSIS BOUNDARY SPILL LIGHT - FOR SUMMARY OF PHOTOMETRIC RESULTS"

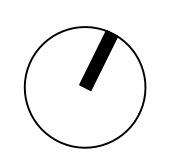
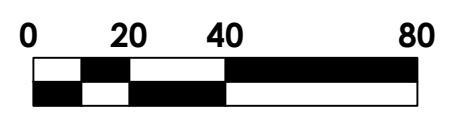


-  ROOF LINE BEYOND BUILDING WALL
-  ADJACENT STRUCTURES
-  PROPOSED STRUCTURE "CONSTRUCTION TYPE"



ADDRESS: 929 BORDER AVE, DEL MAR, CA, 92075
AGENT: MANUEL NIETO
APN: (298-241-06-00) (298-241-07-00) (299-030-14-000)

- NOTES:**
- FOR MECHANICAL EQUIPMENT SEE ROOF PLAN A-1.5
 - FOR EXISTING TREES AND PROPOSED PLANTING SEE SHEET A-0.3 AND LANDSCAPE SHEET L-3.0
 - CITY BENCHMARK SEE CIVIL PLANS
 - PUBLIC ACCESS SEE CIVIL PLANS
 - FOR TREES SEE TREE PLANTING PLAN. ALL TREES TO BE REMOVED (SEE ARBORIST REPORT FOR DETAILS)
 - PARKING SEE SHEETS A-1.6, A-1.7, A-1.8
 - SEE CIVIL & LANDSCAPE FOR DIMENSIONS AND MATERIALS
 - EXTERIOR MECHANICAL EQUIPMENT SEE ROOF PLAN A1.5

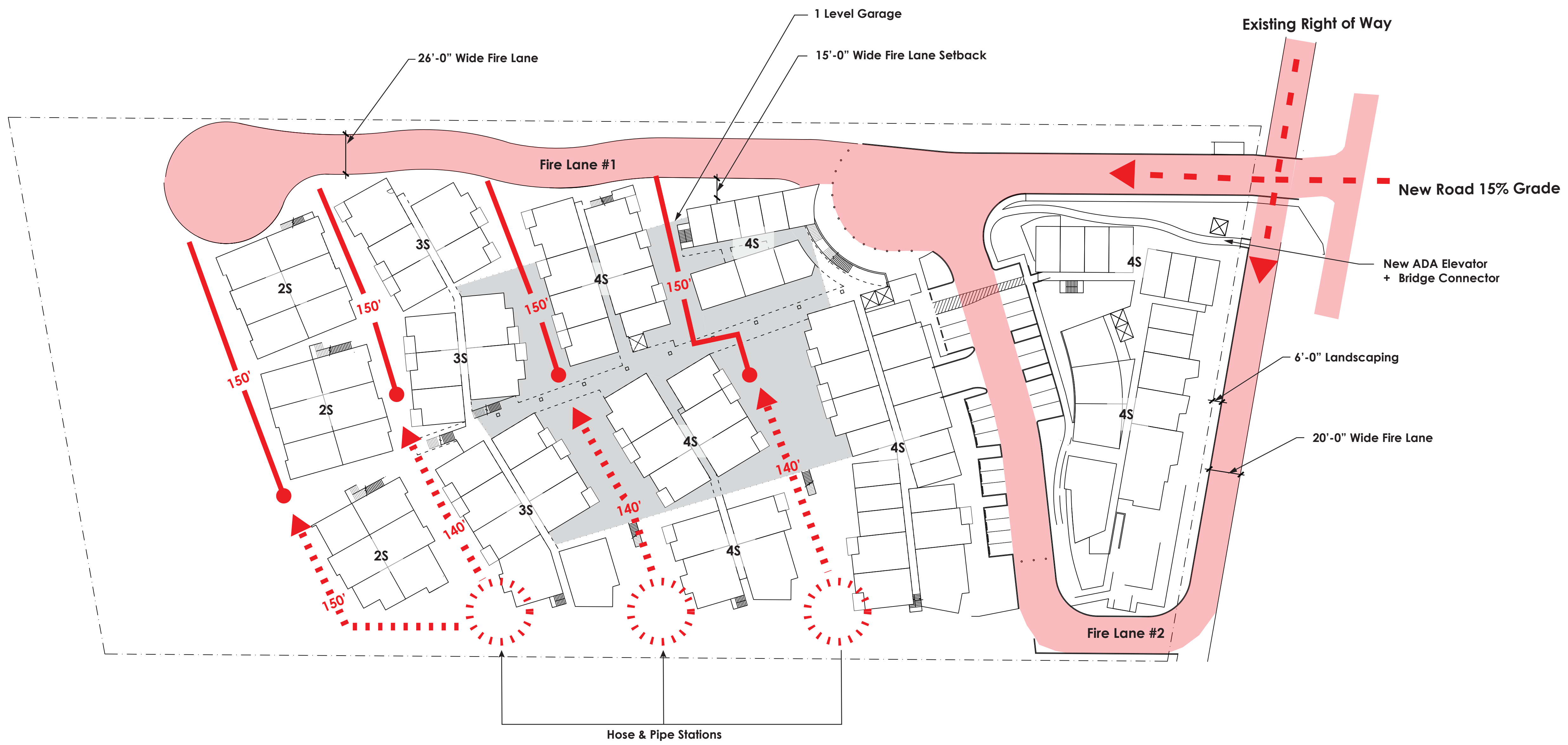


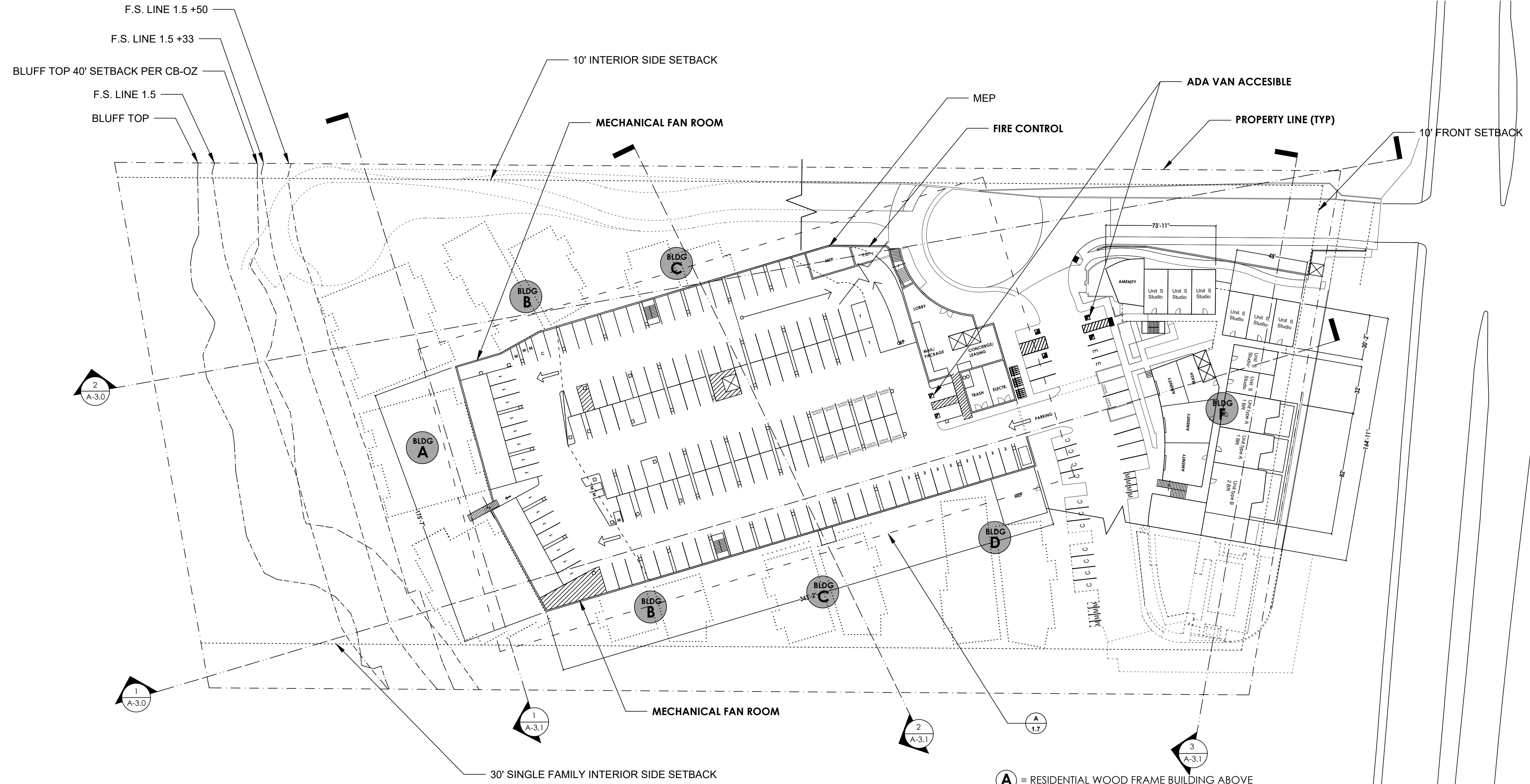
REVISIONS:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:

SITE PLAN



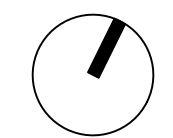
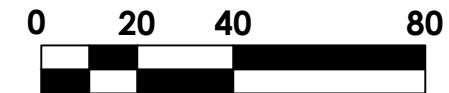


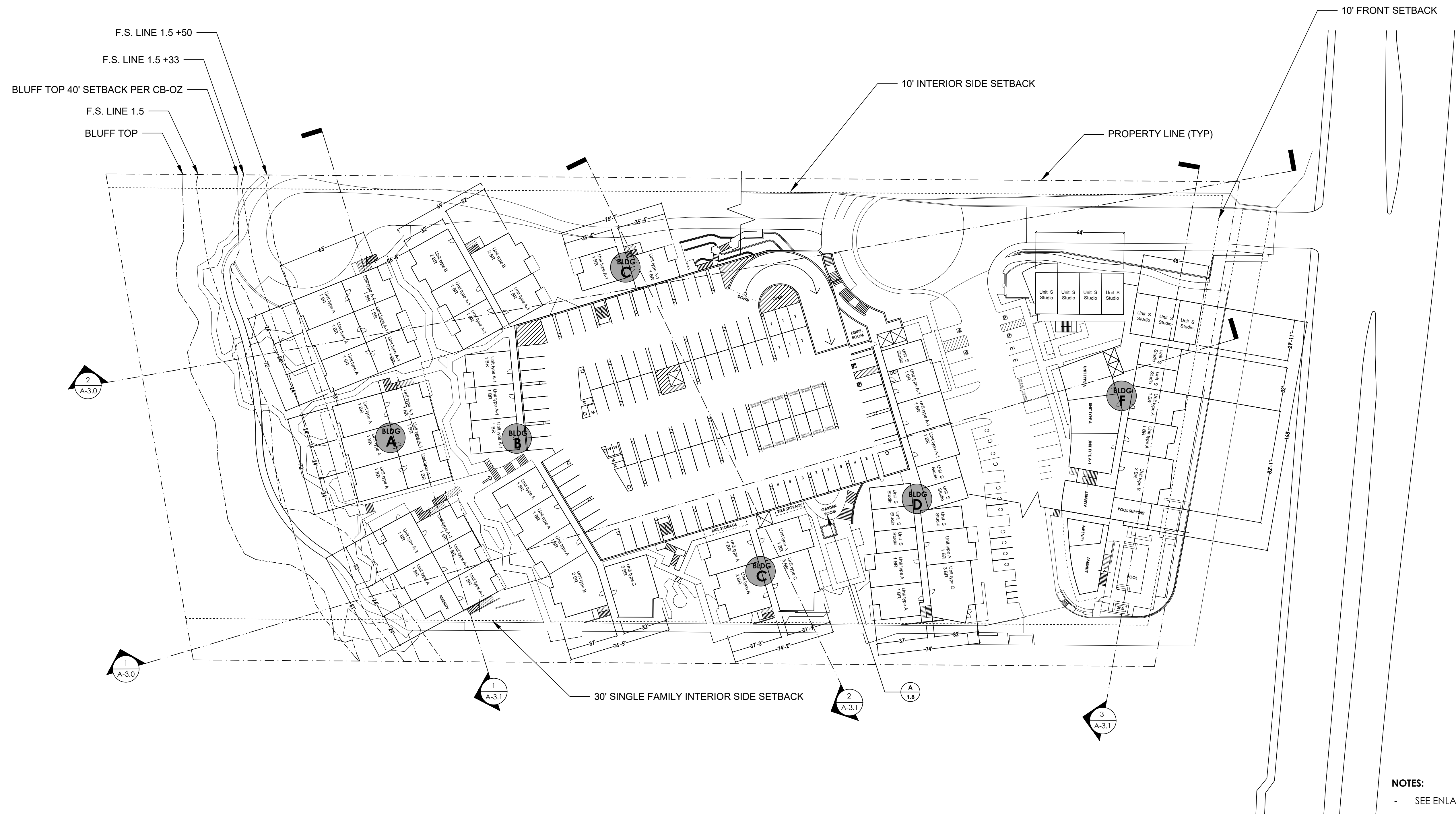
PARKING: (SURFACE LOT ONLY - SEE SHEETS A-1.6, 1.7 & 1.8 FOR GARAGE)

25 VEHICLE (6 STANDARD, 11 COMPACT, 4 ADA, 0 TANDEM, 2 CLEAN AIR, 2 EV)
 8 MOTORCYCLE
 15 BICYCLE

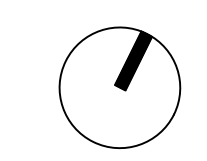
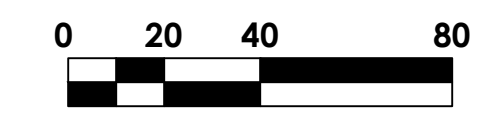
NOTES:

- SEE ENLARGED UNITS PLANS FOR INDIVIDUAL AREA CALCS.
- THE 85 AFFORDABLE UNITS INCLUDES 42 LOWER INCOME UNITS AND 43 MODERATE INCOME UNITS. IN COMPLIANCE WITH ASSEMBLY BILL (AB) 491, SIGNED INTO LAW IN 2021, OCCUPANTS OF LOWER-INCOME AND MODERATE UNITS SHALL HAVE THE SAME ACCESS TO THE COMMON ENTRANCES, AREAS AND AMENITIES AS THE OCCUPANTS OF THE MARKET-RATE HOUSING UNITS. FURTHER, LOWER-INCOME AND MODERATE UNITS WILL NOT BE ISOLATED TO A BUILDING, A SPECIFIC FLOOR OR AN AREA ON A SPECIFIC FLOOR.





- NOTES:**
- SEE ENLARGED UNITS PLANS FOR INDIVIDUAL AREA CALCS.
 - THE 85 AFFORDABLE UNITS INCLUDES 42 LOWER INCOME UNITS AND 43 MODERATE INCOME UNITS. IN COMPLIANCE WITH ASSEMBLY BILL (AB) 491, SIGNED INTO LAW IN 2021, OCCUPANTS OF LOWER-INCOME AND MODERATE UNITS SHALL HAVE THE SAME ACCESS TO THE COMMON ENTRANCES, AREAS AND AMENITIES AS THE OCCUPANTS OF THE MARKET-RATE HOUSING UNITS. FURTHER, LOWER-INCOME AND MODERATE UNITS WILL NOT BE ISOLATED TO A BUILDING, A SPECIFIC FLOOR OR AN AREA ON A SPECIFIC FLOOR.



SEASIDE RIDGE
929 Border Ave, Del Mar, CA, 92075

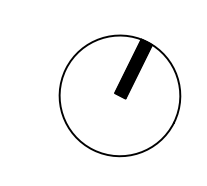
REVISIONS:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:
LEVEL +1
FLOOR PLAN



- NOTES:**
- SEE ENLARGED UNITS PLANS FOR INDIVIDUAL AREA CALCS.
 - THE 85 AFFORDABLE UNITS INCLUDES 42 LOWER INCOME UNITS AND 43 MODERATE INCOME UNITS. IN COMPLIANCE WITH ASSEMBLY BILL (AB) 491, SIGNED INTO LAW IN 2021, OCCUPANTS OF LOWER-INCOME AND MODERATE UNITS OCCUPANTS SHALL HAVE THE SAME ACCESS TO THE COMMON ENTRANCES, AREAS AND AMENITIES AS THE OCCUPANTS OF THE MARKET-RATE HOUSING UNITS. FURTHER, LOWER-INCOME AND MODERATE UNITS WILL NOT BE ISOLATED TO A BUILDING, A SPECIFIC FLOOR OR AN AREA ON A SPECIFIC FLOOR.



SEASIDE RIDGE
929 Border Ave, Del Mar, CA, 92075

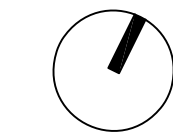
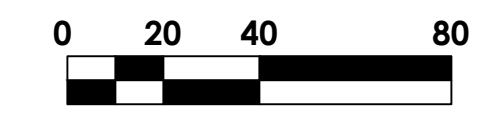
REVISIONS:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:
LEVEL +2
FLOOR PLAN



- NOTES:**
- SEE ENLARGED UNITS PLANS FOR INDIVIDUAL AREA CALCS.
 - THE 85 AFFORDABLE UNITS INCLUDES 42 LOWER INCOME UNITS AND 43 MODERATE INCOME UNITS. IN COMPLIANCE WITH ASSEMBLY BILL (AB) 491, SIGNED INTO LAW IN 2021, OCCUPANTS OF LOWER-INCOME AND MODERATE UNITS SHALL HAVE THE SAME ACCESS TO THE COMMON ENTRANCES, AREAS AND AMENITIES AS THE OCCUPANTS OF THE MARKET-RATE HOUSING UNITS. FURTHER, LOWER-INCOME AND MODERATE UNITS WILL NOT BE ISOLATED TO A BUILDING, A SPECIFIC FLOOR OR AN AREA ON A SPECIFIC FLOOR.



SEASIDE RIDGE
929 Border Ave. Del Mar, CA, 92075

REVISIONS:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:
**LEVEL +3
FLOOR PLAN**

A-1.3

SEASIDE RIDGE
929 Border Ave., Del Mar, CA, 92075

REVISIONS:

PROJECT NO: 2022-10.01

DRAWN BY: SA

REVIEWED BY: JBC

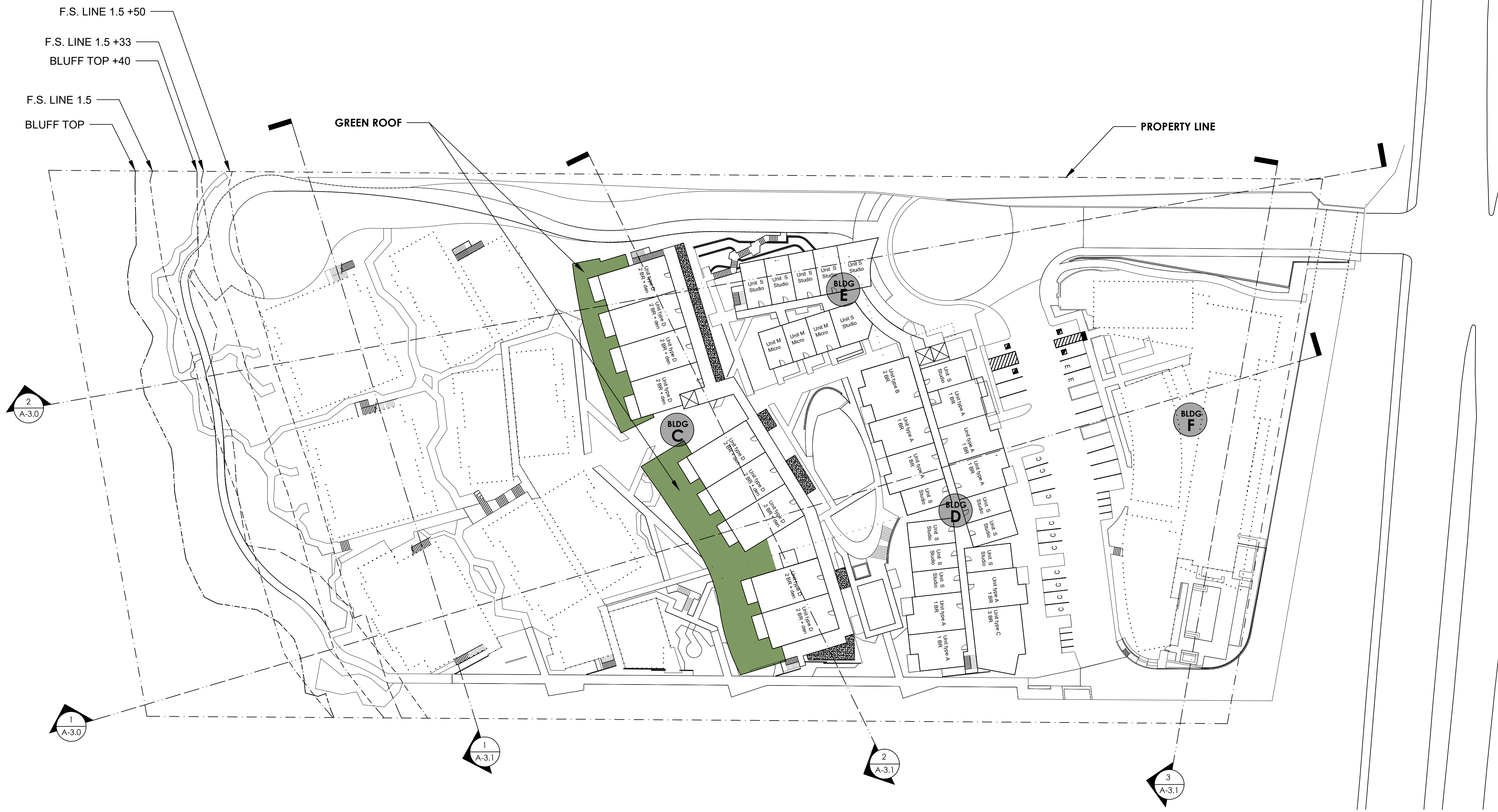
DATE: MARCH 2023

SHEET NAME:

LEVEL +4

FLOOR PLAN

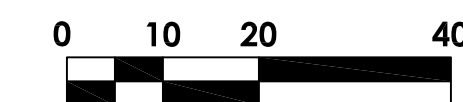
A-1.4



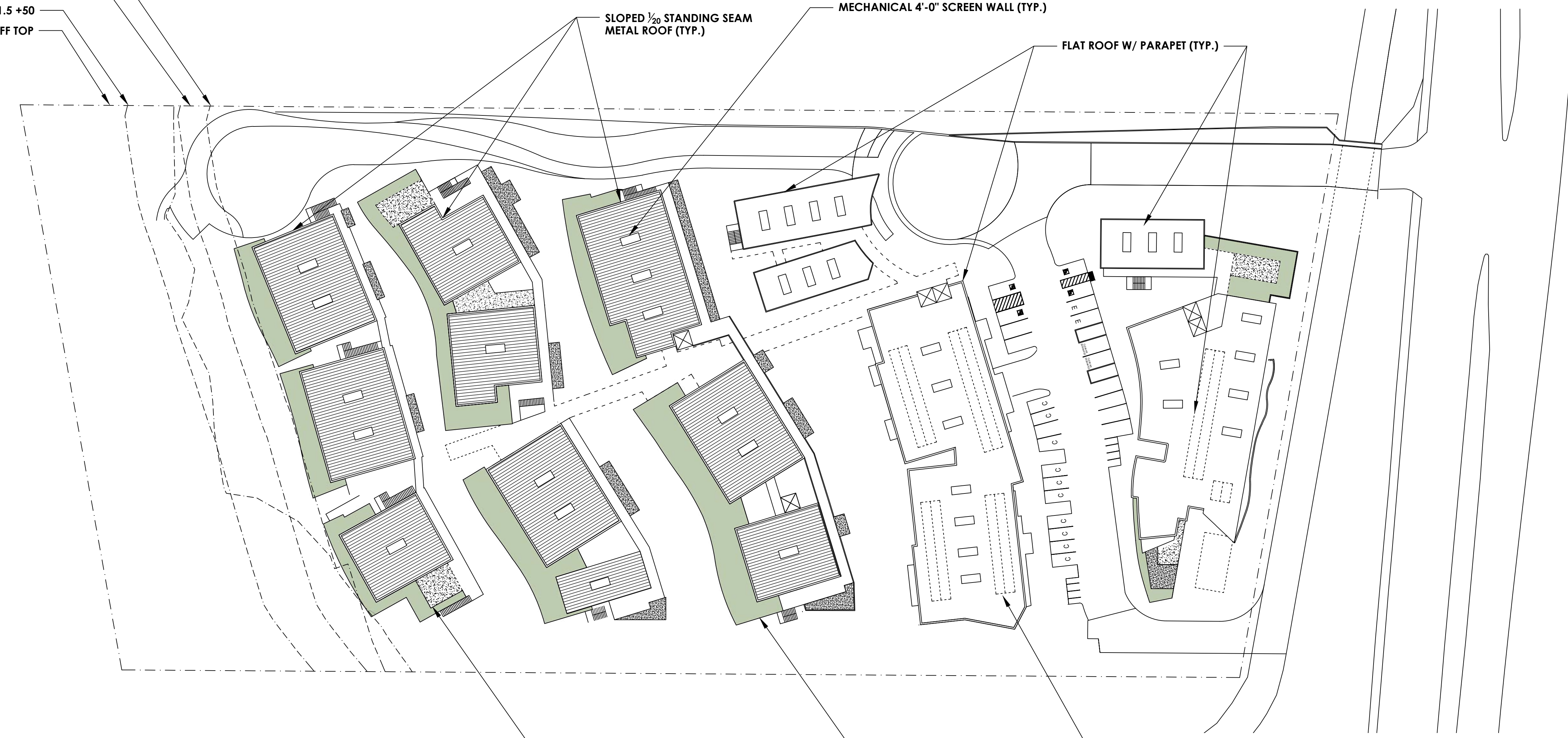
ROOF PLAN BUILDINGS A/B/C/D//J
SEE SHEET A-1.6

NOTES:

- SEE ENLARGED UNITS PLANS FOR INDIVIDUAL AREA CALCS.
- THE 85 AFFORDABLE UNITS INCLUDES 42 LOWER INCOME UNITS AND 43 MODERATE INCOME UNITS. IN COMPLIANCE WITH ASSEMBLY BILL (AB) 491, SIGNED INTO LAW IN 2021, OCCUPANTS OF LOWER-INCOME AND MODERATE UNITS OCCUPANTS SHALL HAVE THE SAME ACCESS TO THE COMMON ENTRANCES, AREAS AND AMENITIES AS THE OCCUPANTS OF THE MARKET-RATE HOUSING UNITS. FURTHER, LOWER-INCOME AND MODERATE UNITS WILL NOT BE ISOLATED TO A BUILDING, A SPECIFIC FLOOR OR AN AREA ON A SPECIFIC FLOOR.



F.S. 1.5+50
 BLUFF STEBACK +50
 F.S. 1.5+50
 BLUFF TOP

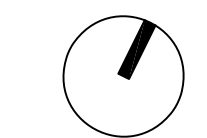


PLANTER
 GREEN ROOF
 ROOF GARDEN

SLOPED 1/20 STANDING SEAM METAL ROOF (TYP.)
 MECHANICAL 4'-0" SCREEN WALL (TYP.)
 FLAT ROOF W/ PARAPET (TYP.)

ROOF GARDEN AREAS (TYP.)
 GREEN ROOF AREAS (TYP.)
 SOLAR PANELS OPTIONAL LOCATIONS (FINAL SIZE & LOCATION BASED ON DESIGN DEVELOPMENT ENERGY CALCS)

- NO CHIMNEYS & SKYLIGHTS



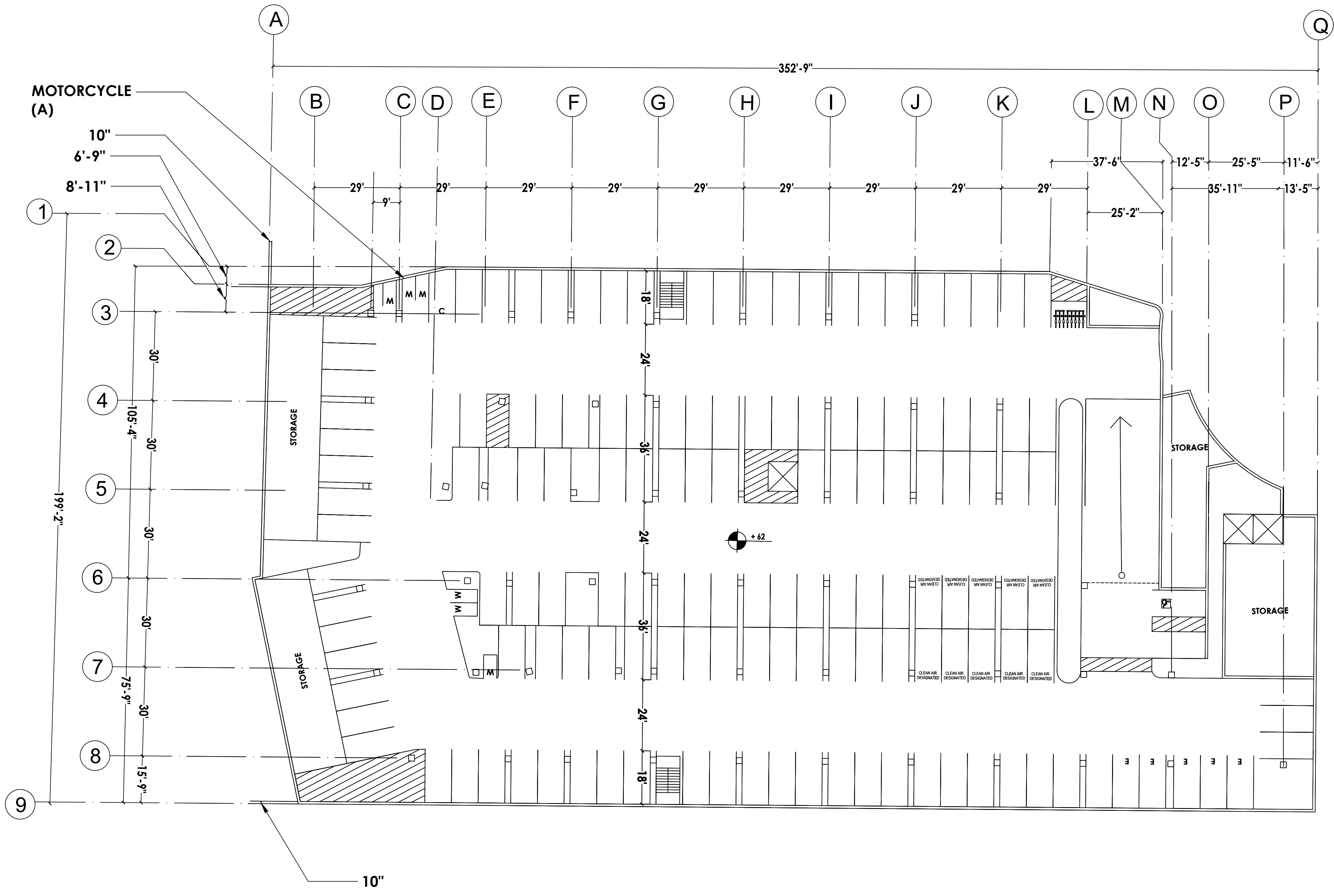
SEASIDE RIDGE
 929 Border Ave, Del Mar, CA, 92075

REVISIONS:

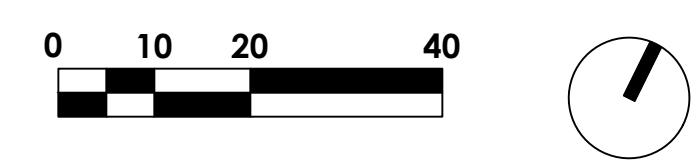
PROJECT NO: 2022-10.01
 DRAWN BY: SA
 REVIEWED BY: JBC
 DATE: MARCH 2023

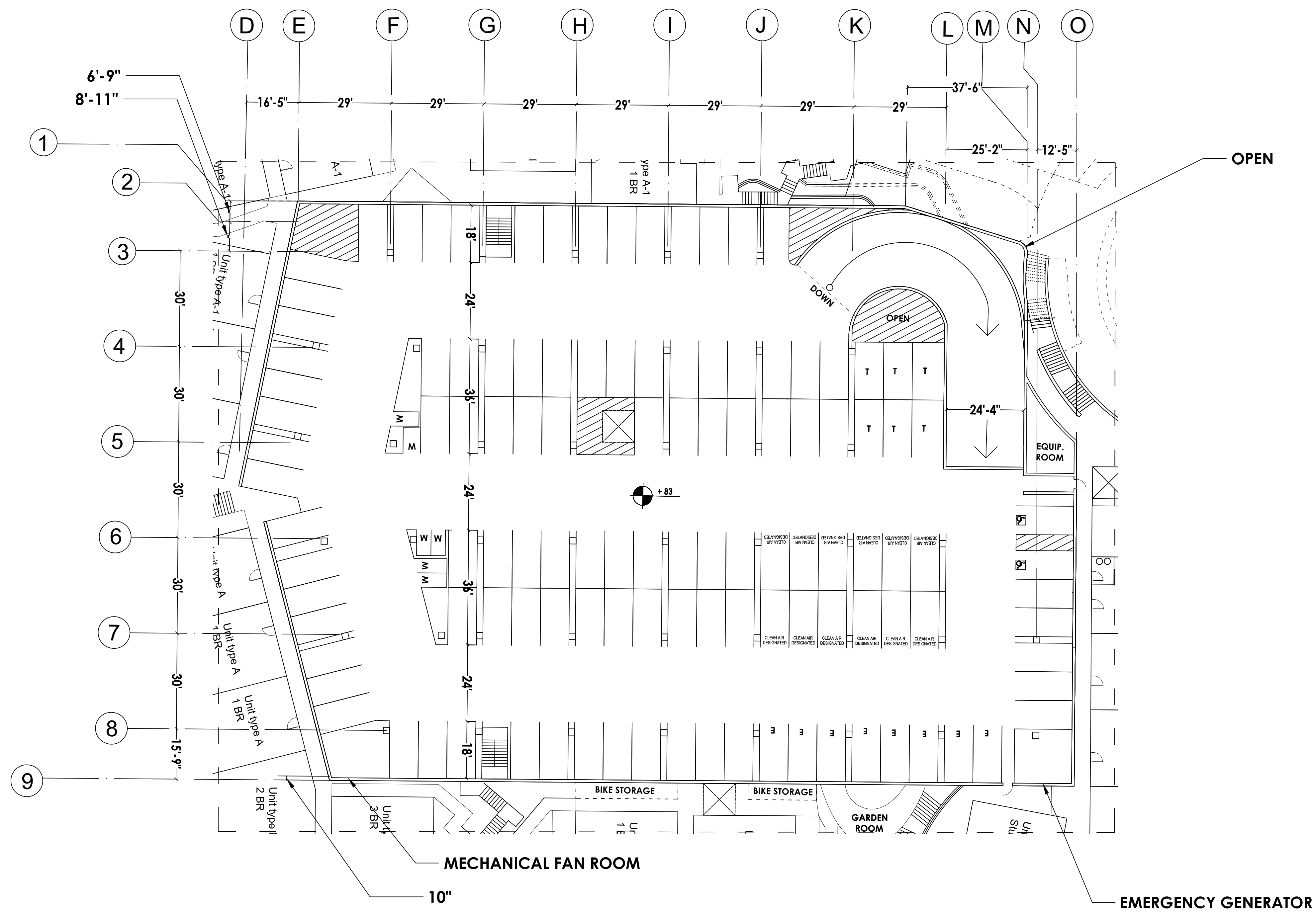
SHEET NAME:

ROOF PLAN

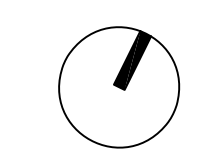
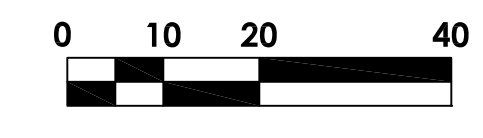


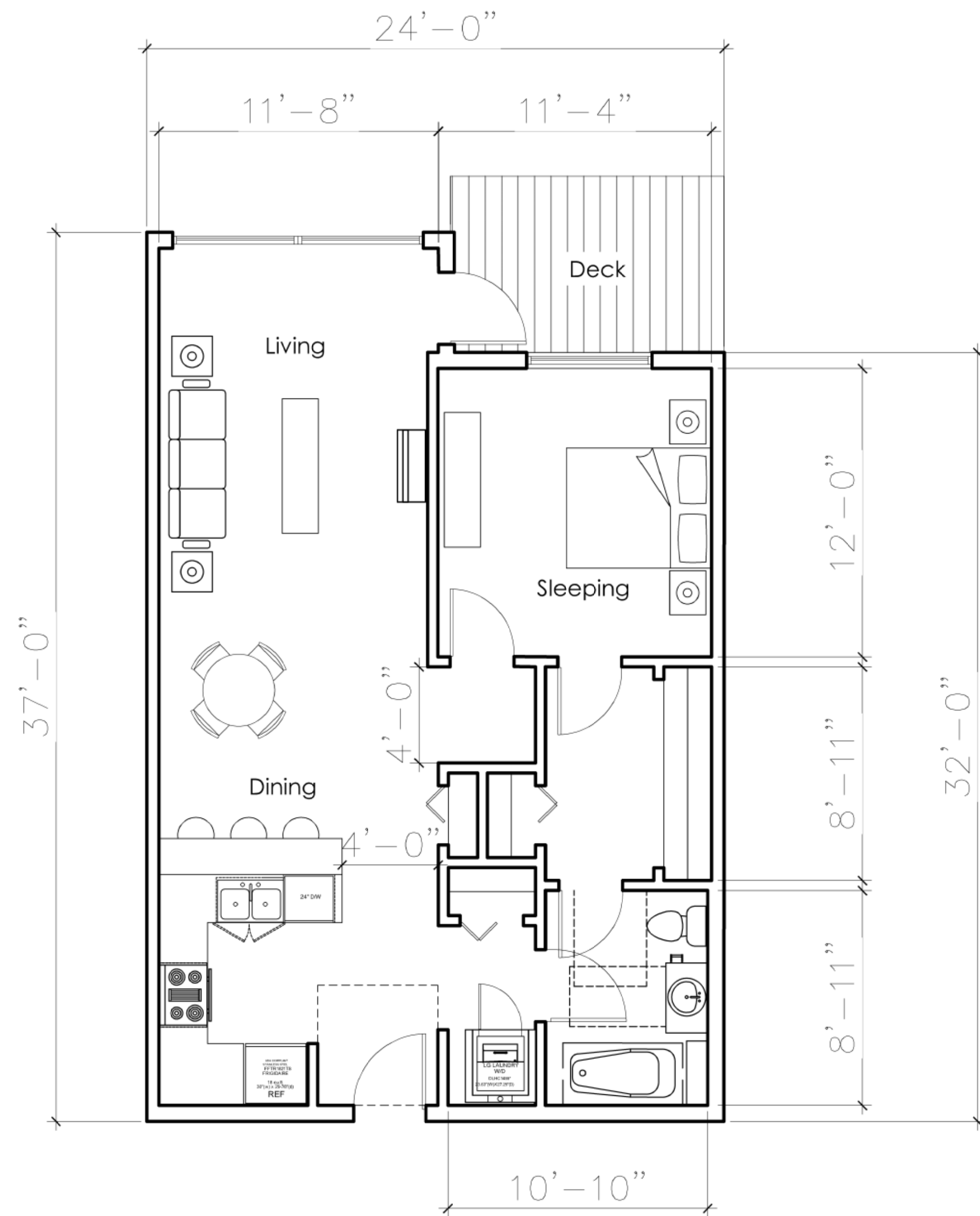
PARKING: 146 VEHICLE (129 STANDARD, 1 COMPACT, 1 ADA, 0 TANDEM, 10 CLEAN AIR, 5 EV)
 6 MOTORCYCLE
 8 BICYCLE



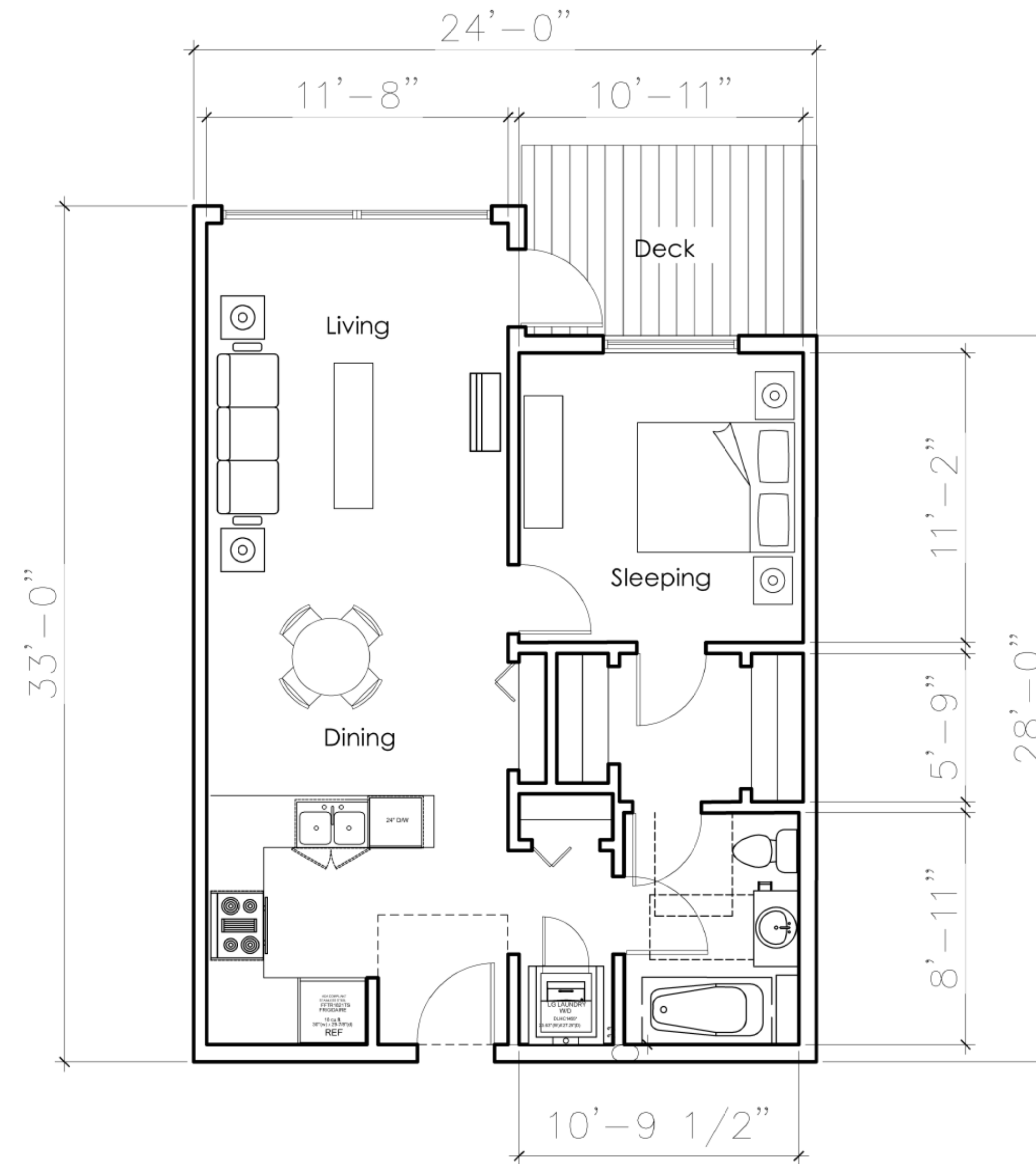


PARKING: 118 VEHICLE (90 STANDARD, 0 COMPACT, 2 ADA, 6 TANDEM, 12 CLEAN AIR, 8 EV)
 6 MOTORCYCLE
 0 BICYCLE





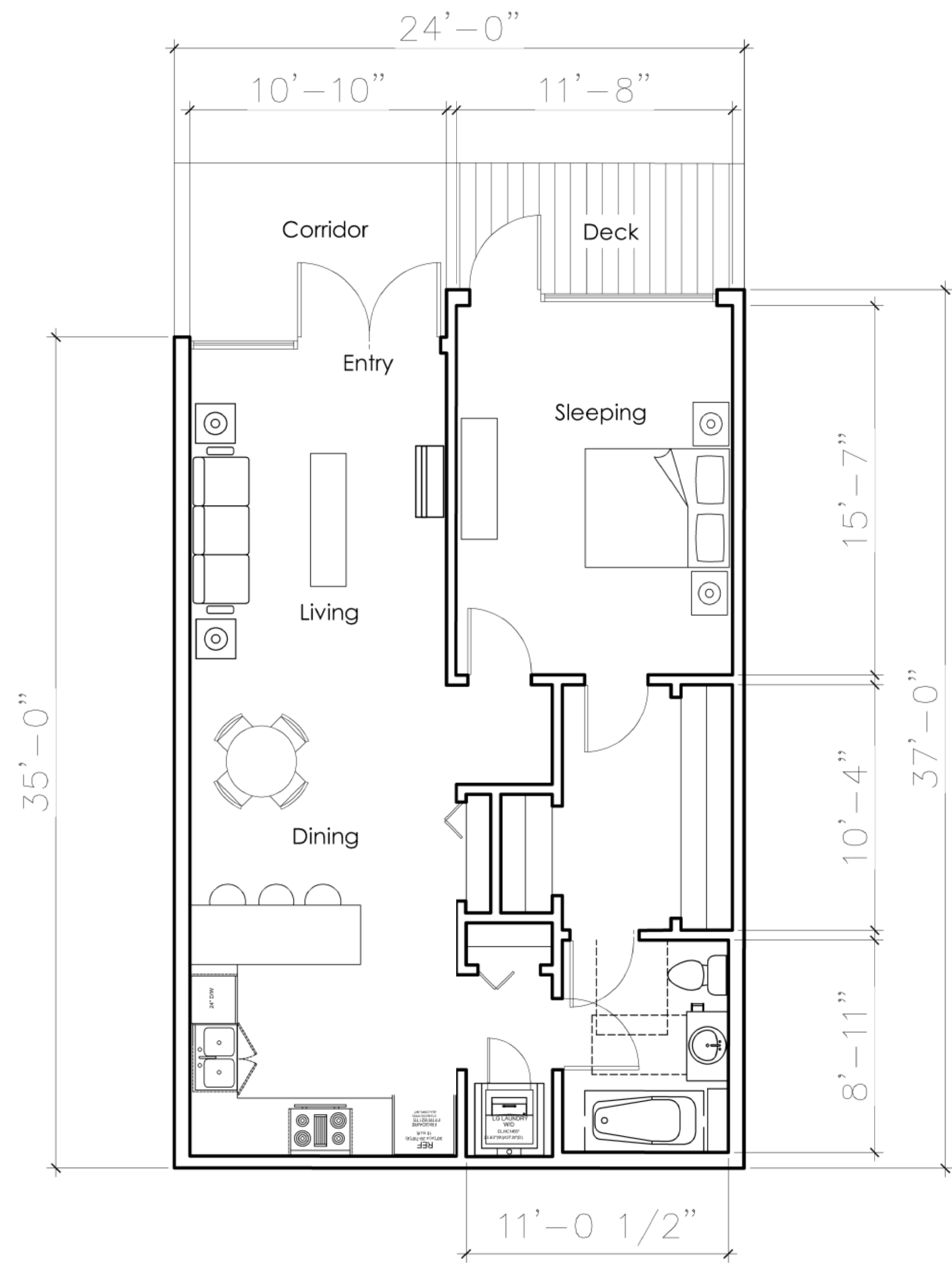
UNIT A
 1 BEDROOM
 832 SF
 83 SF deck/ balcony area
 53 SF Outdoor covered area*



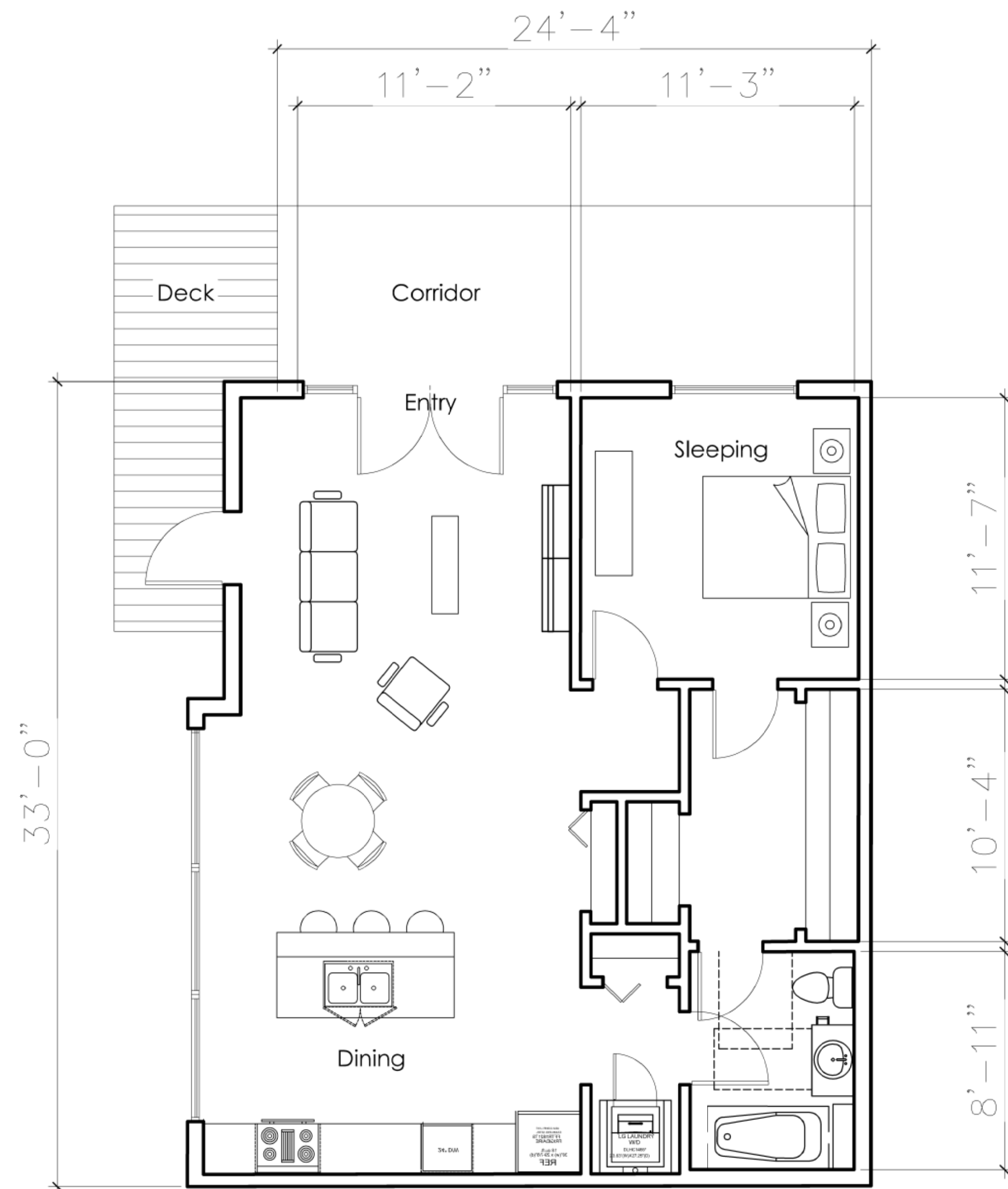
UNIT A-1
 1 BEDROOM (AFFORDABLE)
 721 SF
 83 SF deck/ balcony area
 59 SF Outdoor covered area*



*None of the rootops exceed 10% of the associated unit size.



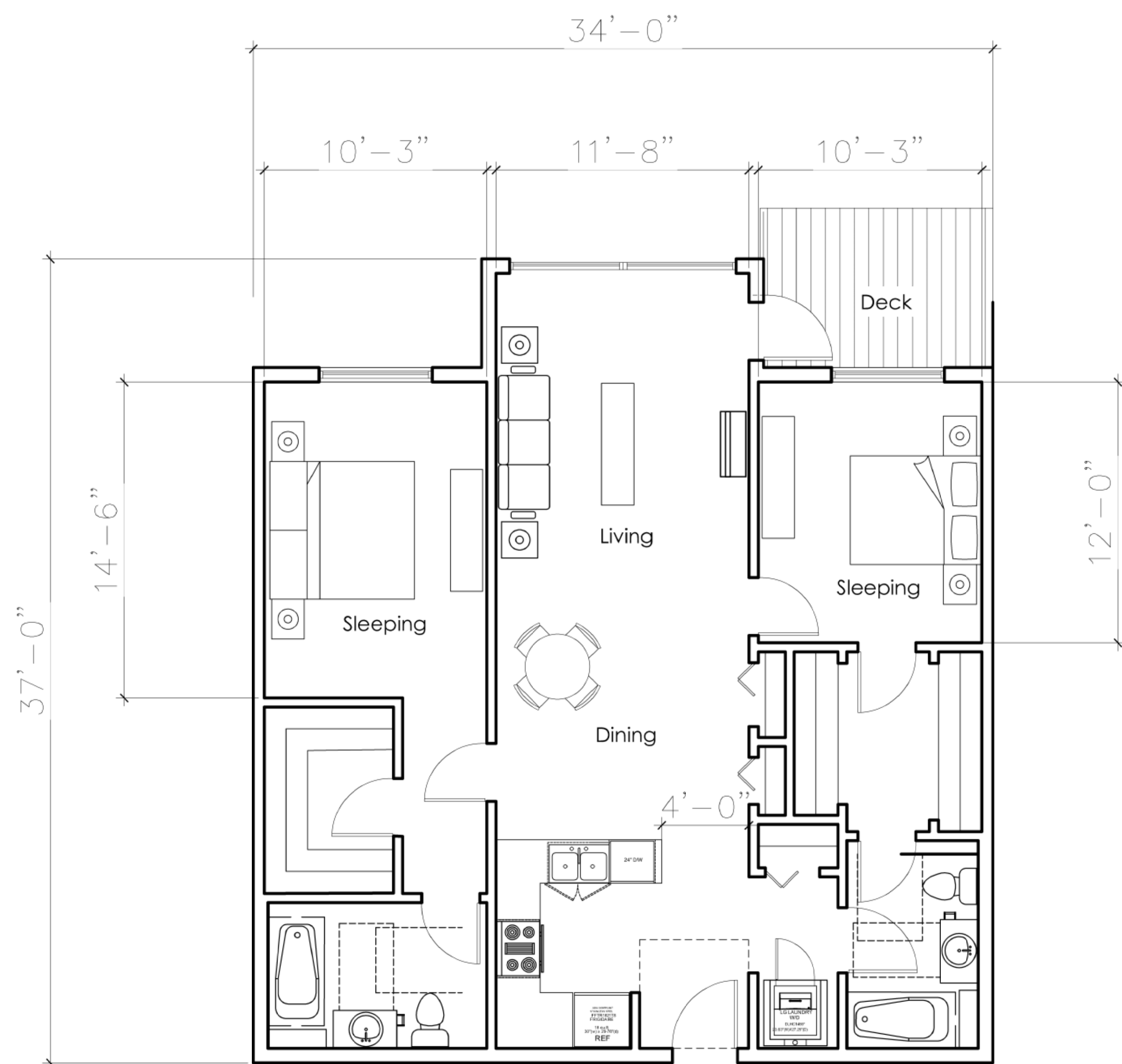
UNIT A-2
 1 BEDROOM
 865 SF
 69 SF deck/ balcony area
 59 SF Outdoor covered area*



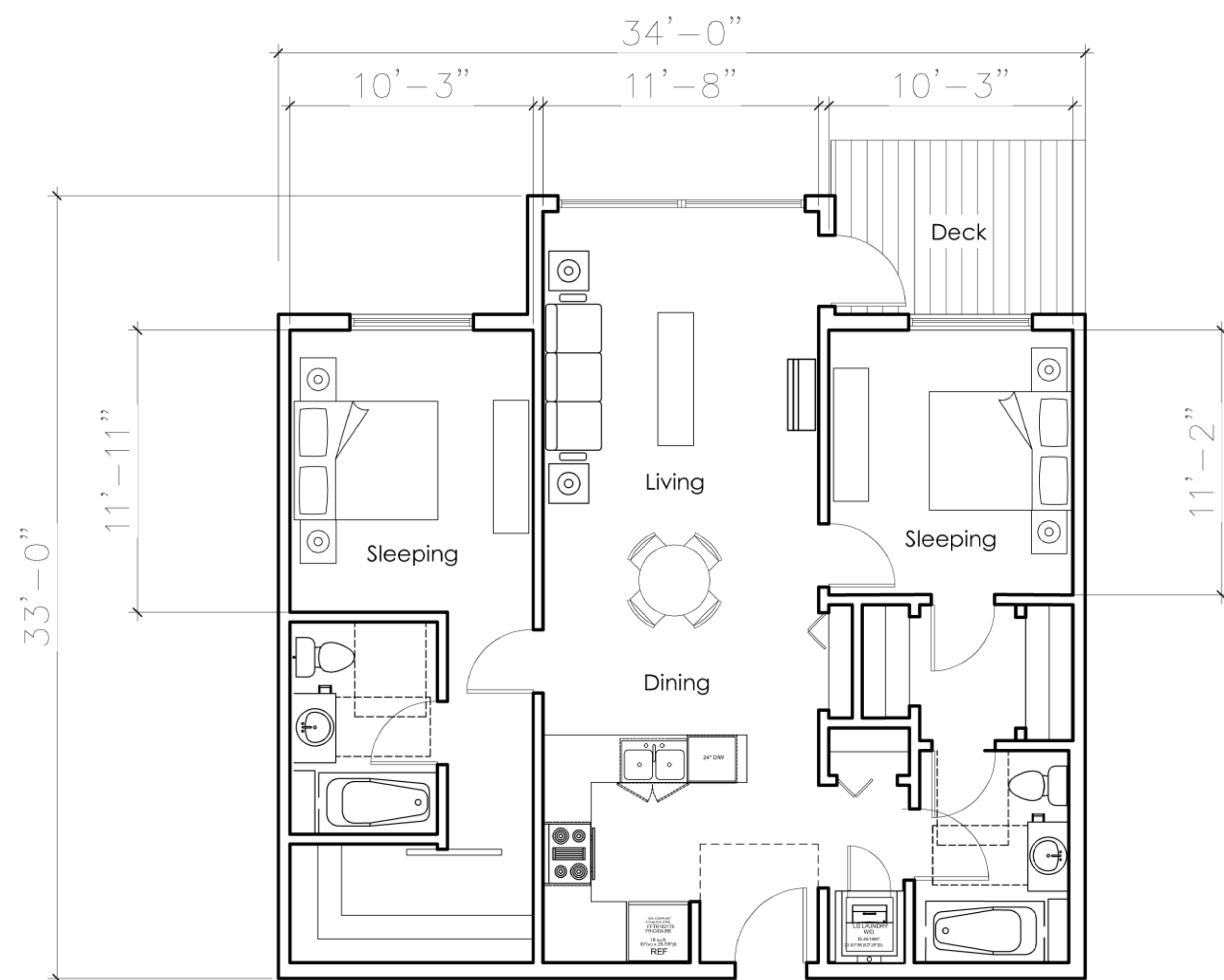
UNIT A-3
 1 BEDROOM
 905 SF
 94 SF deck/ balcony area
 46 SF Outdoor covered area*



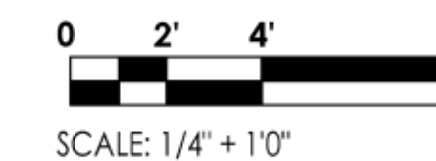
*None of the rooftops exceed 10% of the associated unit size.



UNIT B
 2 BEDROOM
 1,153 SF
 78 SF deck/ balcony area
 78 SF Outdoor covered area*



UNIT B-1
 2 BEDROOM (AFFORDABLE)
 1,017 SF
 78 SF deck/ balcony area
 78 SF Outdoor covered area*



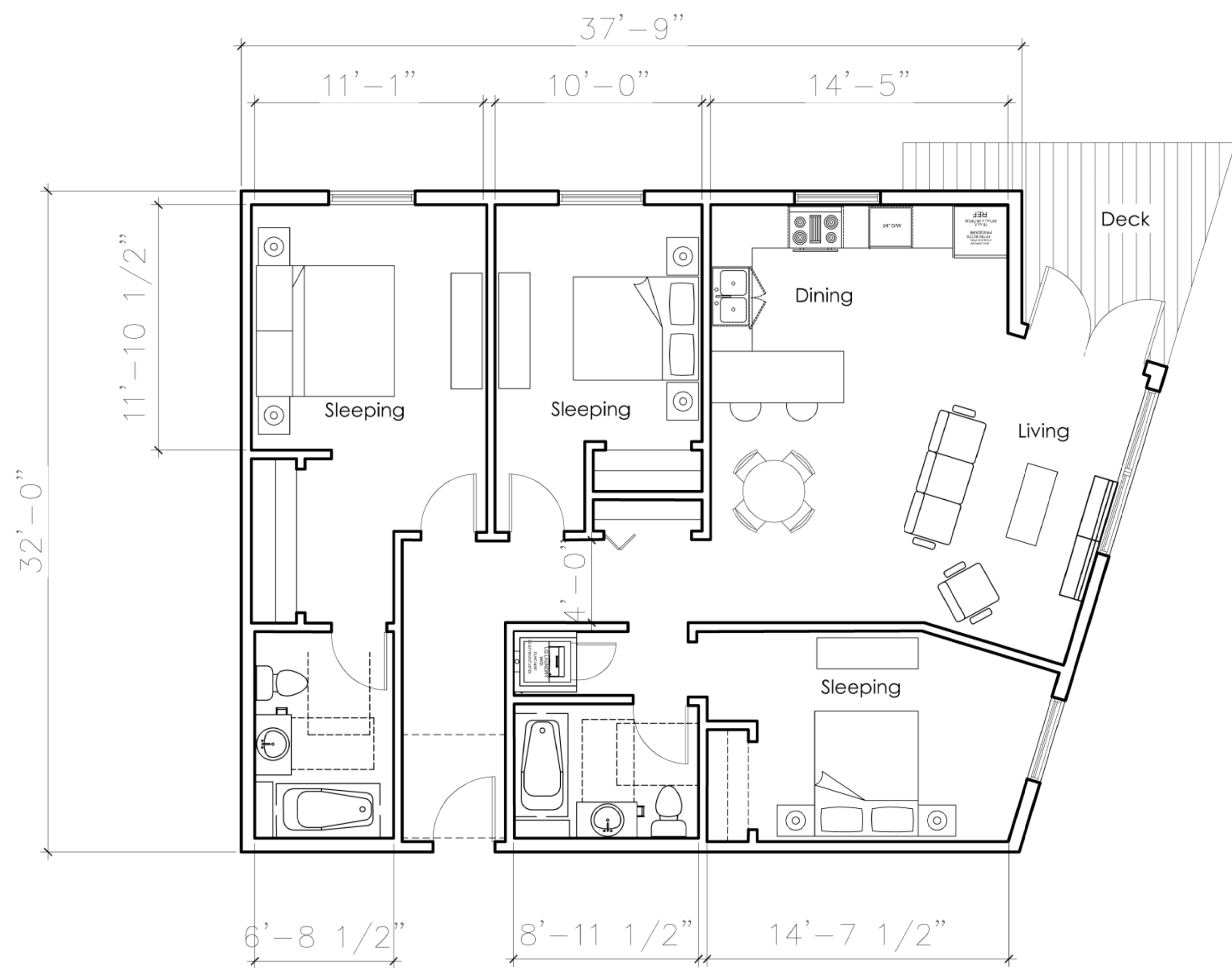
*None of the rooftops exceed 10% of the associated unit size.

REVISIONS:
 REV:

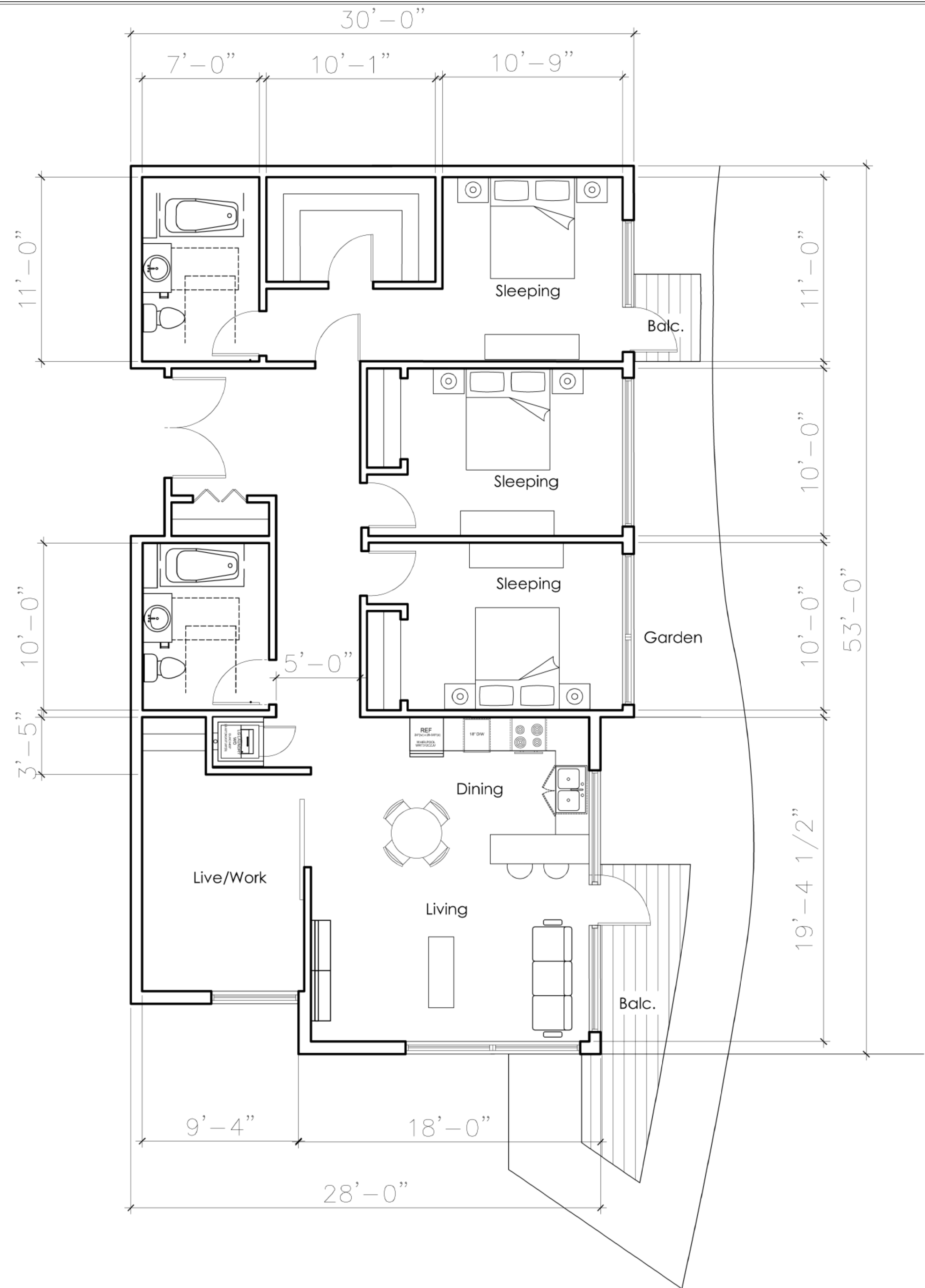
PROJECT NO: 2022-10.01
DRAWN BY: XI
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:

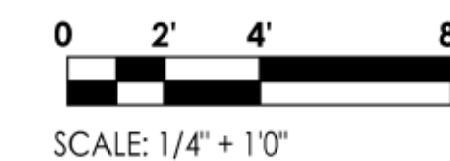
TYPICAL UNIT PLANS



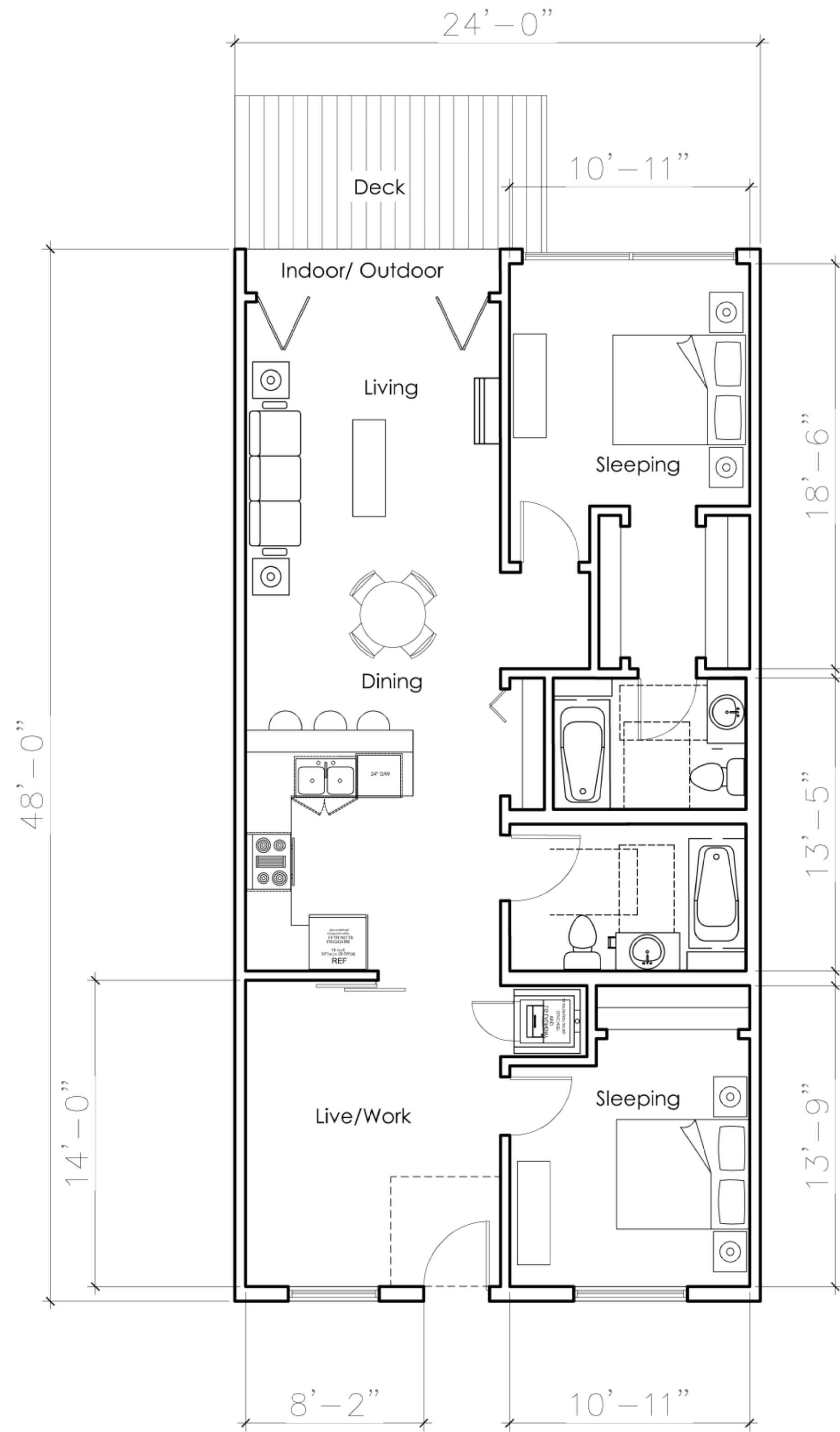
UNIT C
3 BEDROOM
1,296 SF
100 SF deck/ balcony area
86 SF Outdoor covered area*



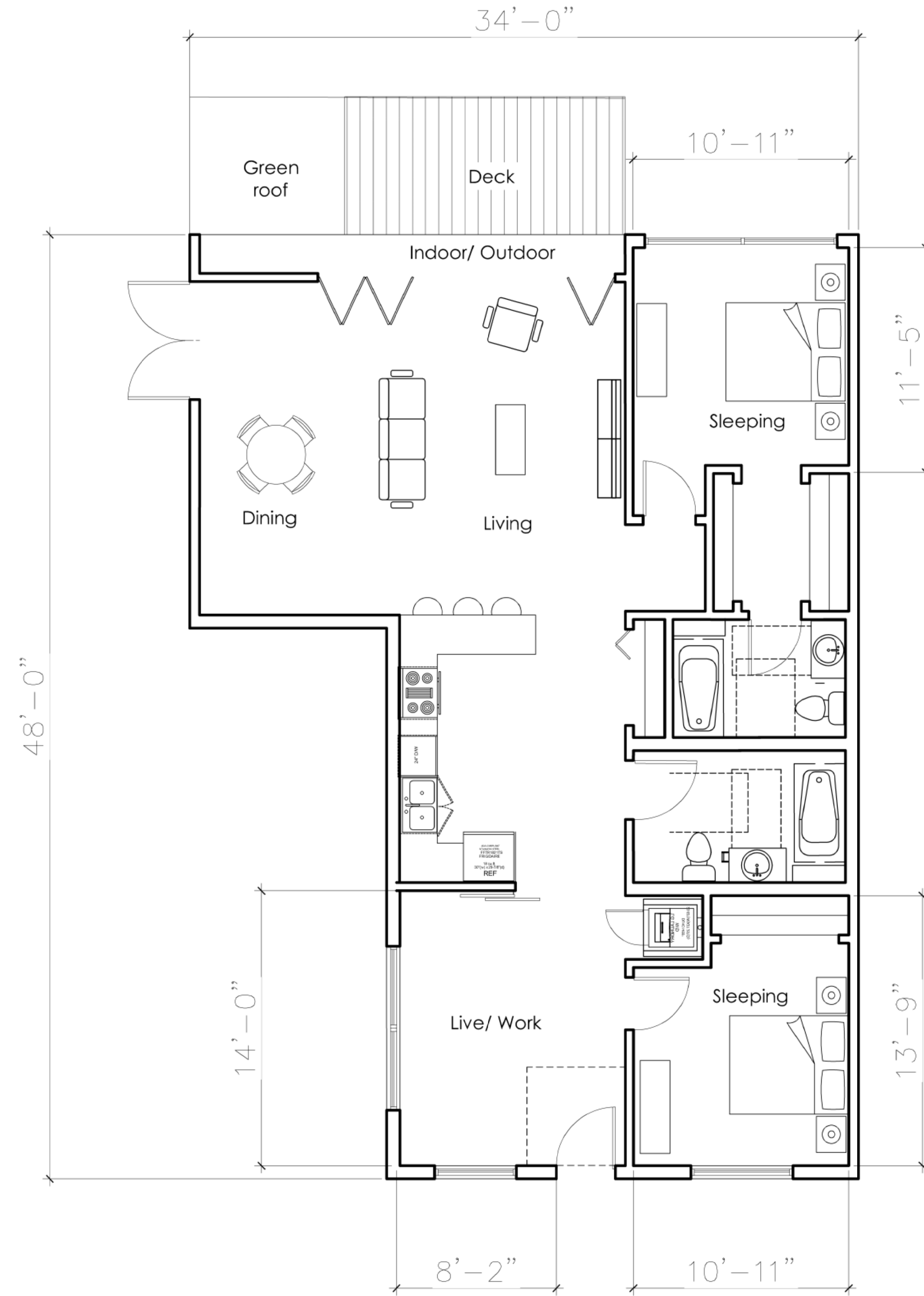
UNIT E
3 BEDROOM + DEN
1,520 SF
100 SF balcony area
100 SF Outdoor covered area*



*None of the rooftops exceed 10% of the associated unit size.



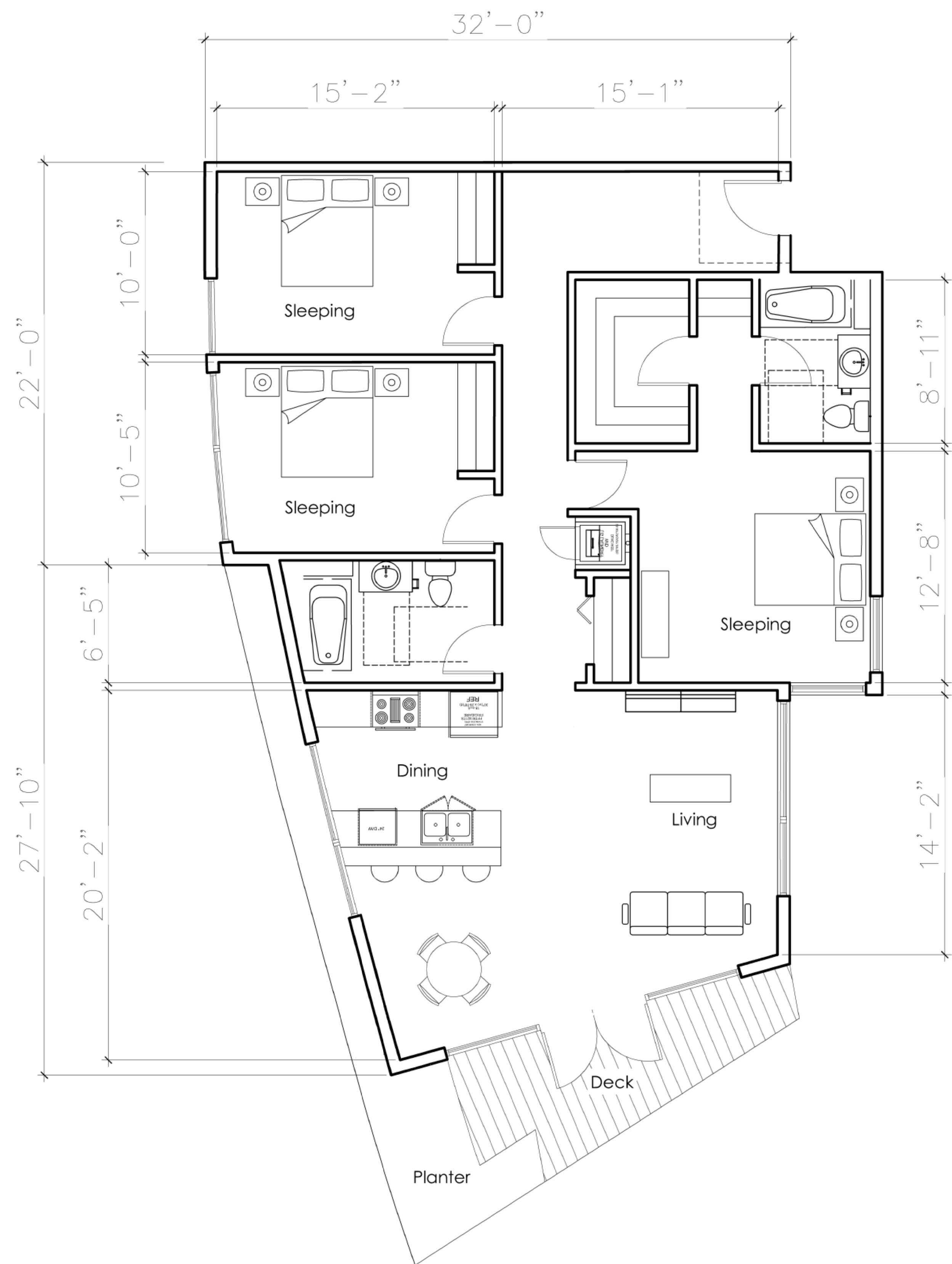
UNIT D
 2 BEDROOM + DEN
 1,152 SF
 99 SF balcony area
 71 SF Outdoor covered area*



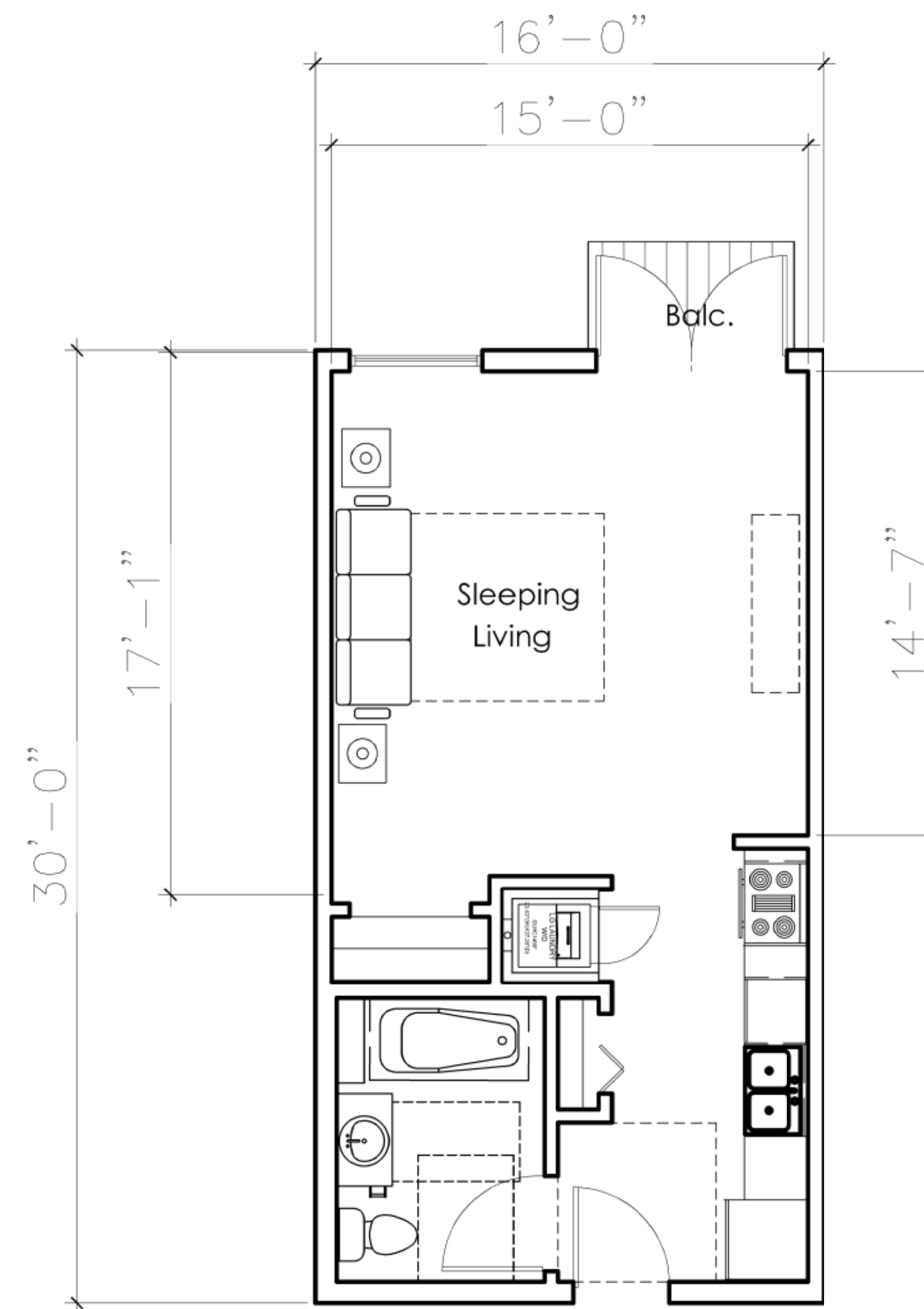
UNIT D-1
 2 BEDROOM + DEN
 1,352 SF
 99 SF balcony area
 71 SF Outdoor covered area*



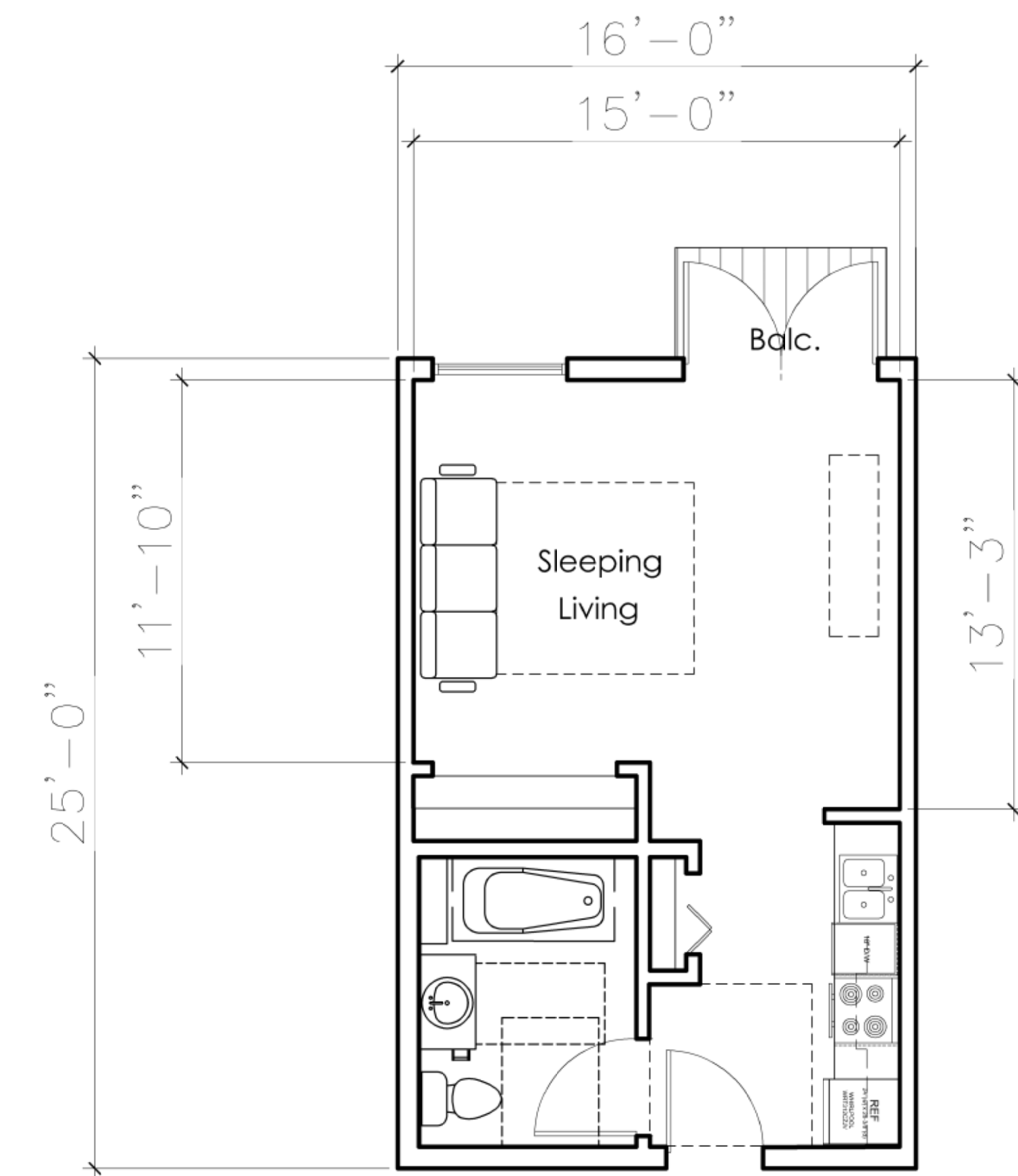
*None of the rooftops exceed 10% of the associated unit size.



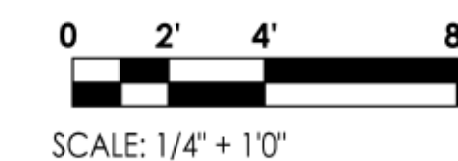
UNIT F
 3 BEDROOM
 1,454 SF
 100 SF balcony area
 73 SF Outdoor covered area*



UNIT S
 STUDIO
 480 SF
 22 SF balcony area
 22 SF Outdoor covered area*



UNIT M
 MICRO
 400 SF
 22 SF balcony area
 22 SF Outdoor covered area*



*None of the rooftops exceed 10% of the associated unit size.

NOTES:

- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS

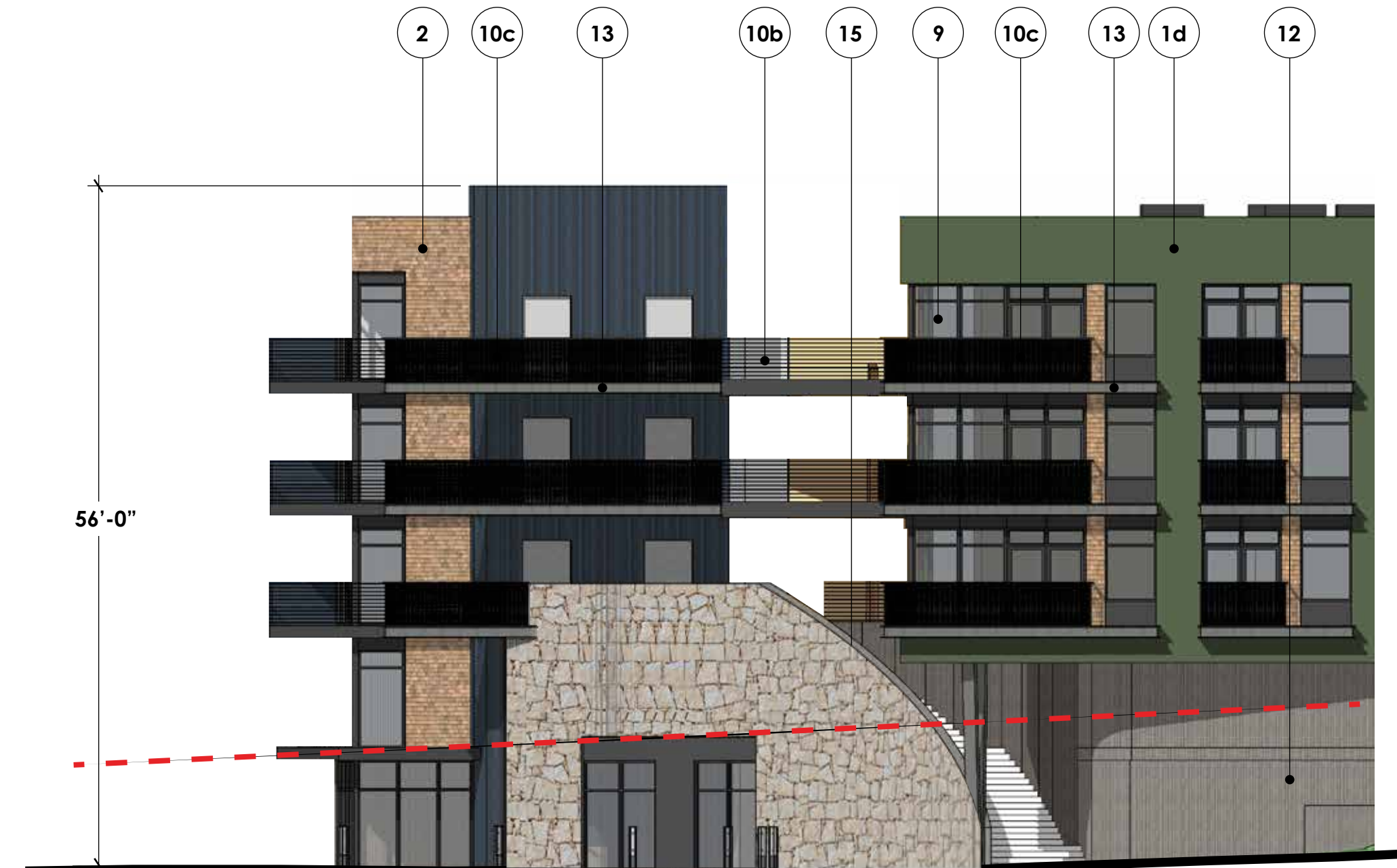


1 NORTH ELEVATION



2 NORTH ELEVATION - BLOW UP 1

Scale: 3/32"=1'0"



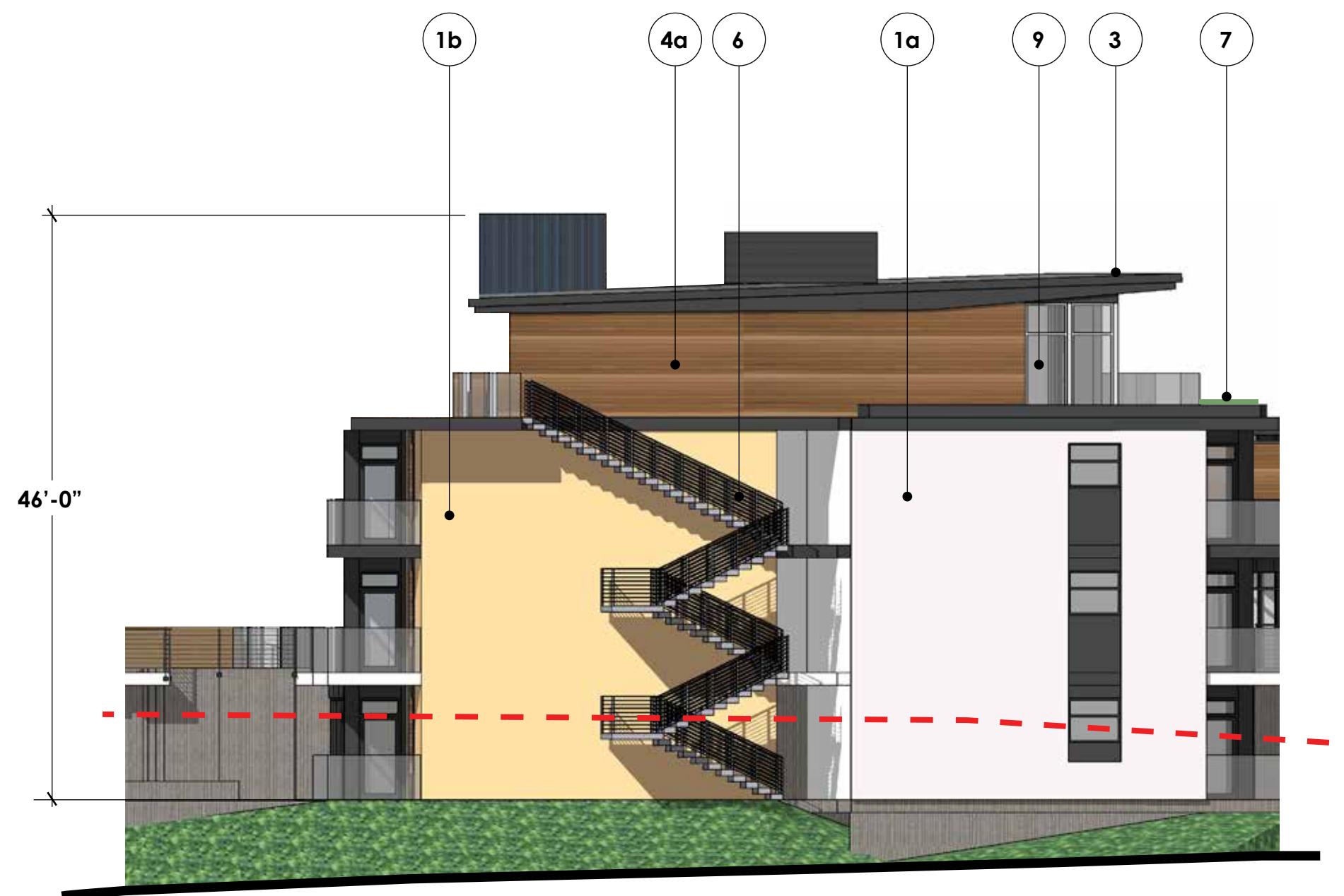
3 NORTH ELEVATION - BLOW UP 2

Scale: 3/32"=1'0"

EXISTING GRADE - - - - -

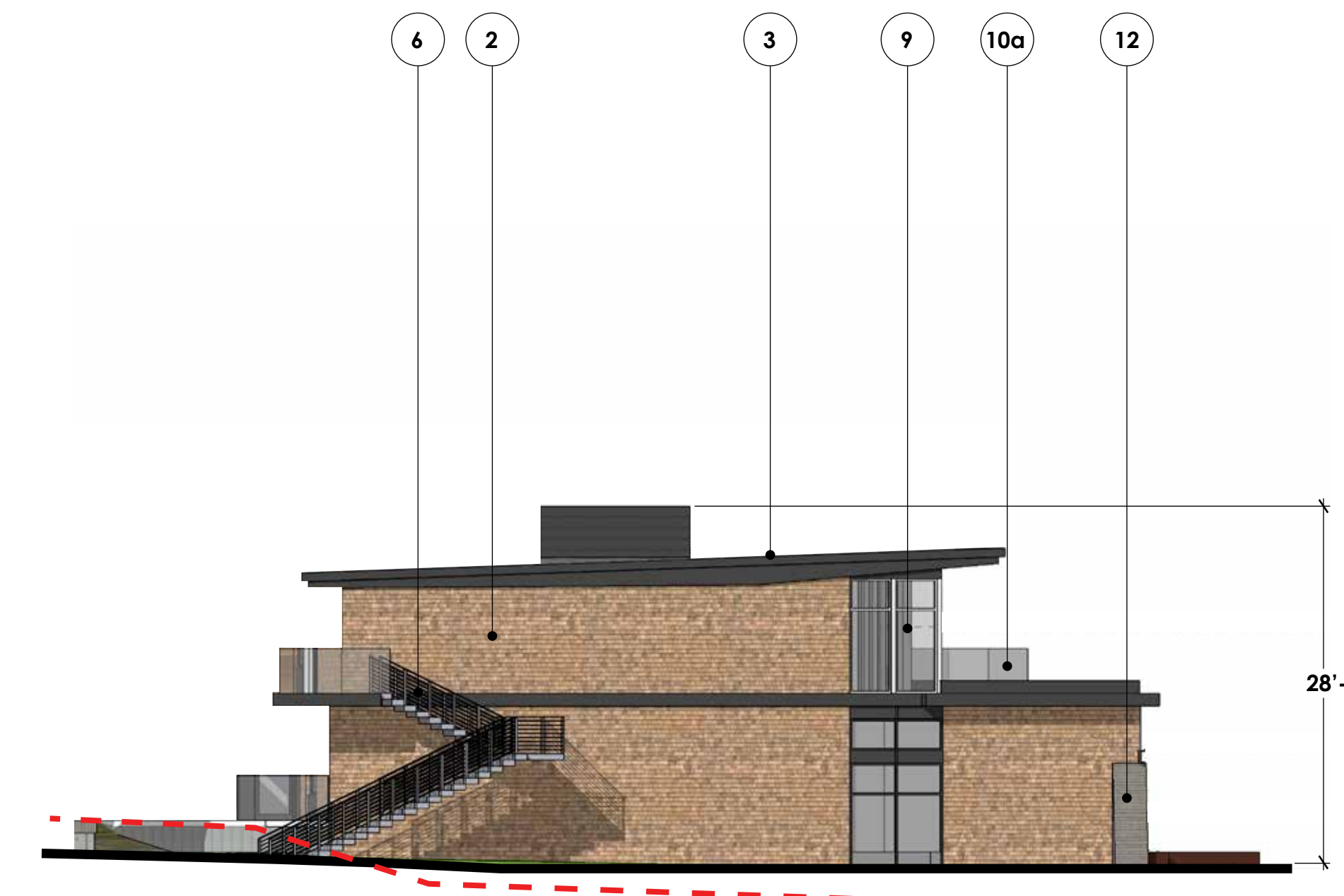
MATERIAL LEGEND

- Plaster
 - Light Beige
 - Dark Beige
 - Light French Grey
 - Dark Green
 - Dark French Grey
- Oiled Wood Shingles
- Painted Wood Fascia
- Wood Siding
 - Oiled Horizontal
 - Stained Horizontal
 - Stained Vertical
- Green Wall
- Exterior Steel Stair
- Green Roof
- Window Wall
- Aluminum Window
- Guardrail
 - Glass
 - Horizontal Metal Bar
 - Metal Mesh
 - Solid Metal
- Folding Glass Wall
- Stacked Stone Wall
- Steel Channel
- Pool Fence
- Stone Veneer Wall
- Standing Seam Metal Roof
- Roll-up Garage Door
- Rooftop Equipment Screen - Painted Metal
- Vertical Wood Slat Wall



4 NORTH ELEVATION - BLOW UP 3

Scale: 3/32"=1'0"



5 NORTH ELEVATION - BLOW UP 4

Scale: 3/32"=1'0"



* All wood products and finishes to be selected with consideration on the ocean front location

REVISIONS:
REV:

PROJECT NO: 2022-10.01

DRAWN BY: SA

REVIEWED BY: JBC

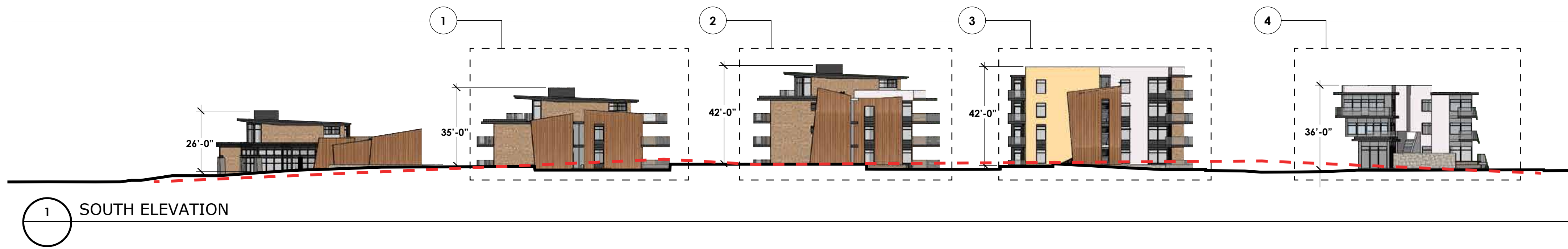
DATE: MARCH 2023

SHEET NAME:

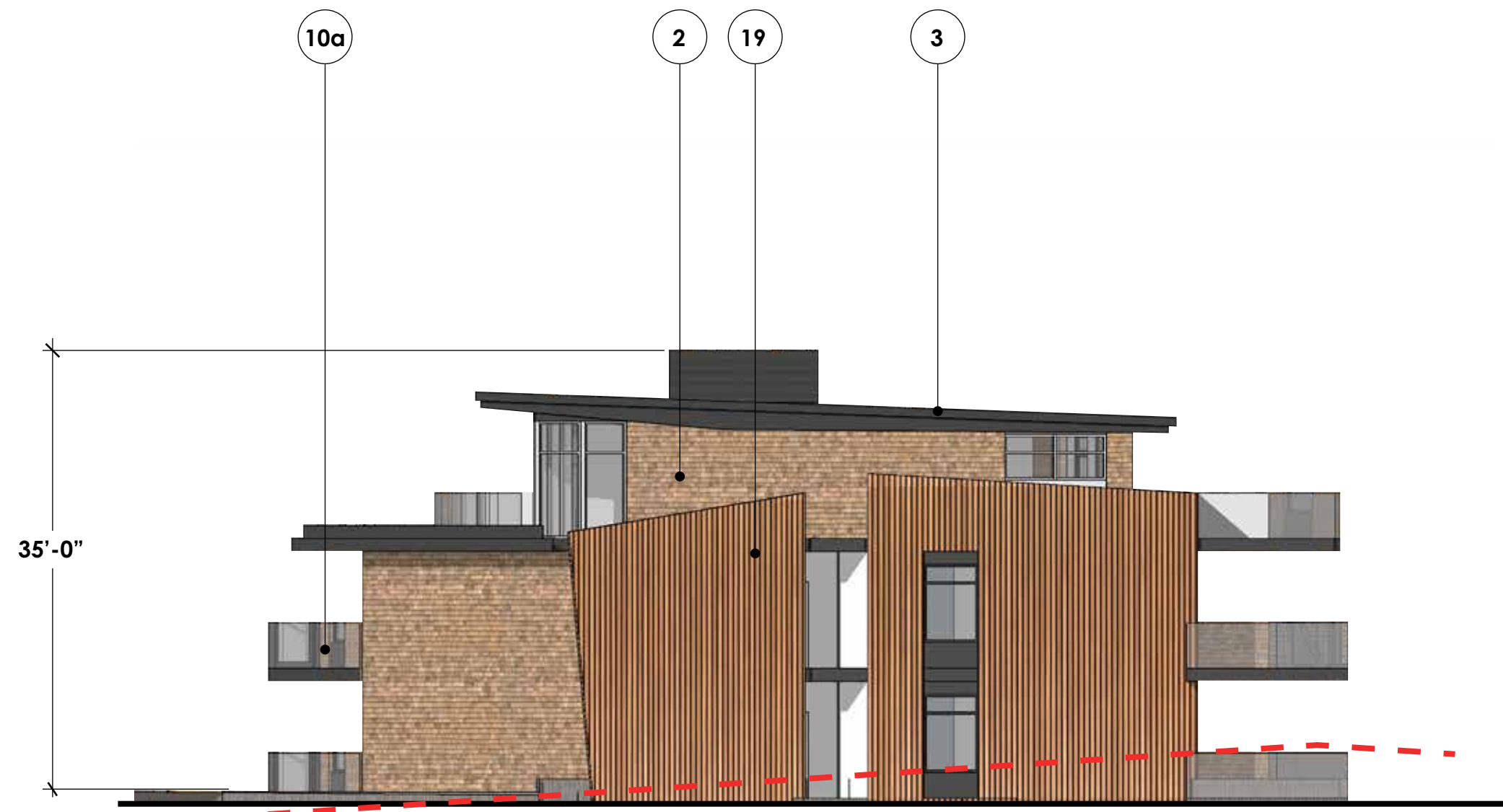
NORTH ELEVATIONS

NOTES:

- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS

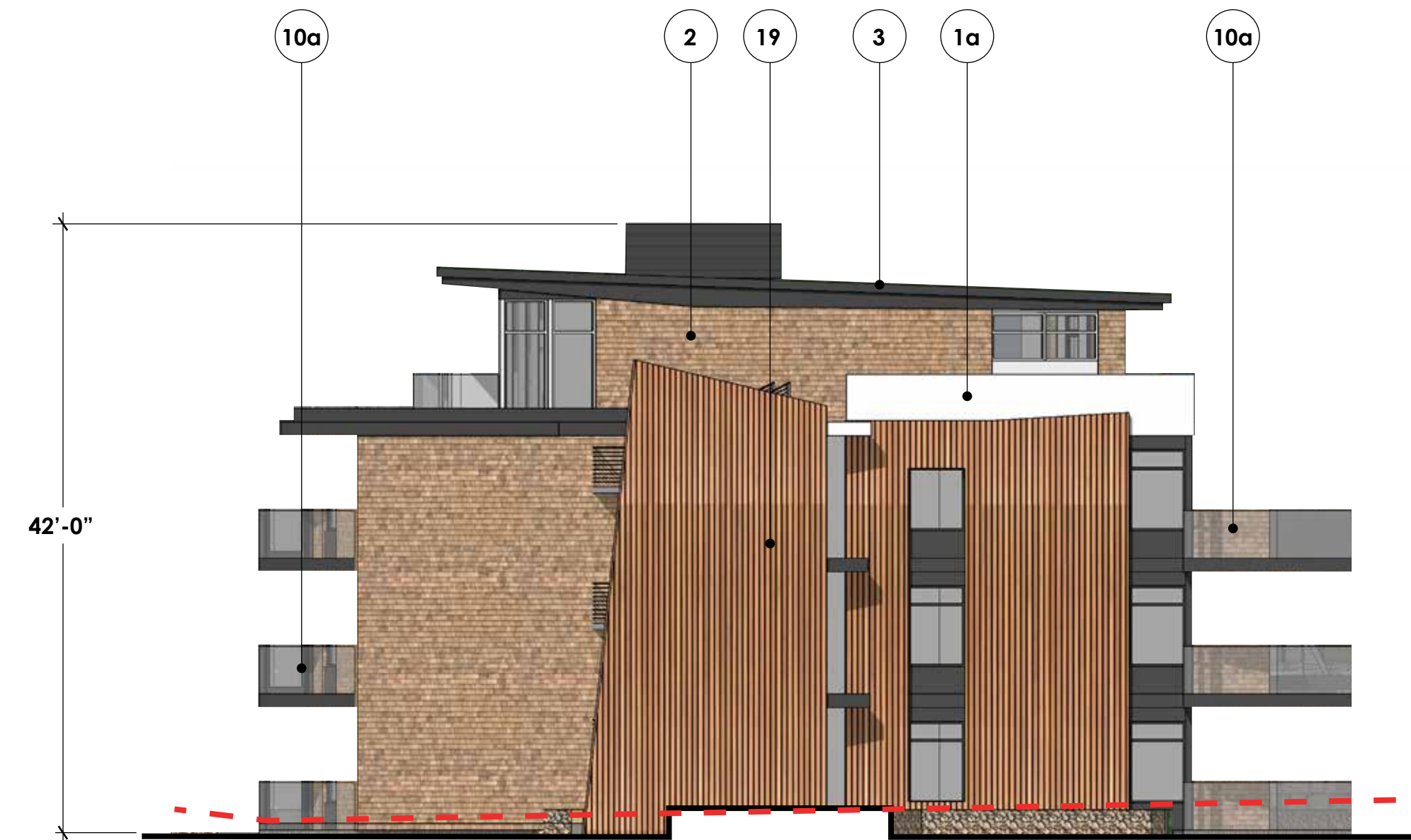


1 SOUTH ELEVATION



2 SOUTH ELEVATION - BLOW UP 1

Scale: 3/32"=1'0"



3 SOUTH ELEVATION - BLOW UP 2

Scale: 3/32"=1'0"

EXISTING GRADE - - - - -

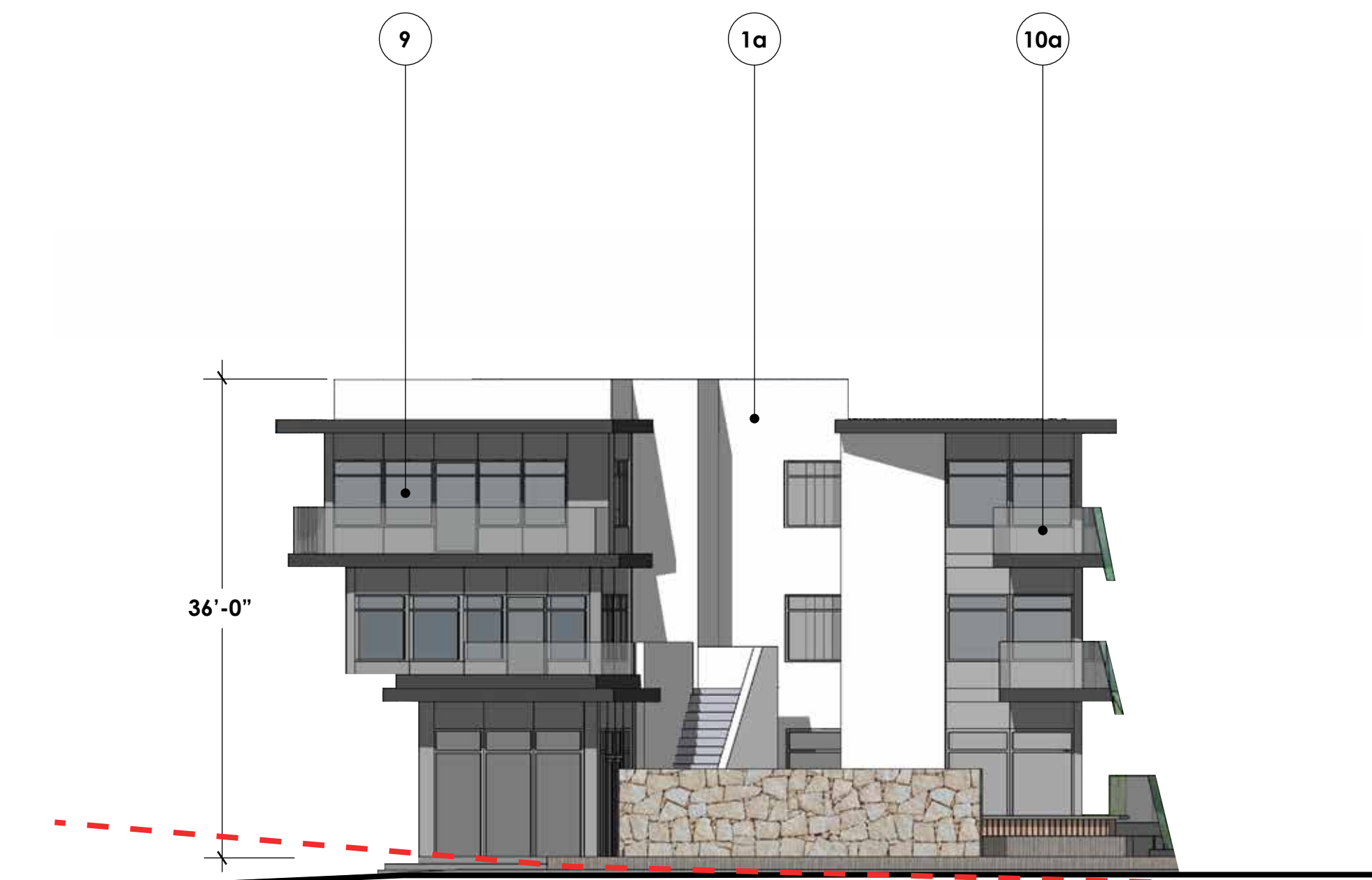
MATERIAL LEGEND

1. Plaster
 - a - Light Beige
 - b - Dark Beige
 - c - Light French Grey
 - d - Dark Green
 - e - Dark French Grey
2. Oiled Wood Shingles
3. Painted Wood Fascia
4. Wood Siding
 - 4a - Oiled Horizontal
 - 4b - Stained Horizontal
 - 4c - Stained Vertical
5. Green Wall
6. Exterior Steel Stair
7. Green Roof
8. Window Wall
9. Aluminum Window
10. Guardrail
 - 10a - Glass
 - 10b - Horizontal Metal Bar
 - 10c - Metal Mesh
 - 10d - Solid Metal
11. Folding Glass Wall
12. Stacked Stone Wall
13. Steel Channel
14. Pool Fence
15. Stone Veneer Wall
16. Standing Seam Metal Roof
17. Roll-up Garage Door
18. Rooftop Equipment Screen - Painted Metal
19. Vertical Wood Slat Wall



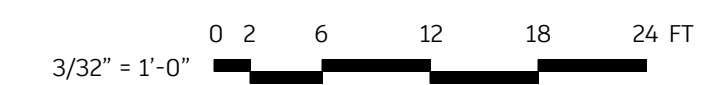
4 SOUTH ELEVATION - BLOW UP 3

Scale: 3/32"=1'0"



5 SOUTH ELEVATION - BLOW UP 4

Scale: 3/32"=1'0"



* All wood products and finishes to be selected with consideration on the ocean front location

REVISIONS:

REV:

PROJECT NO:2022-10.01

DRAWN BY: SA

REVIEWED BY: JBC

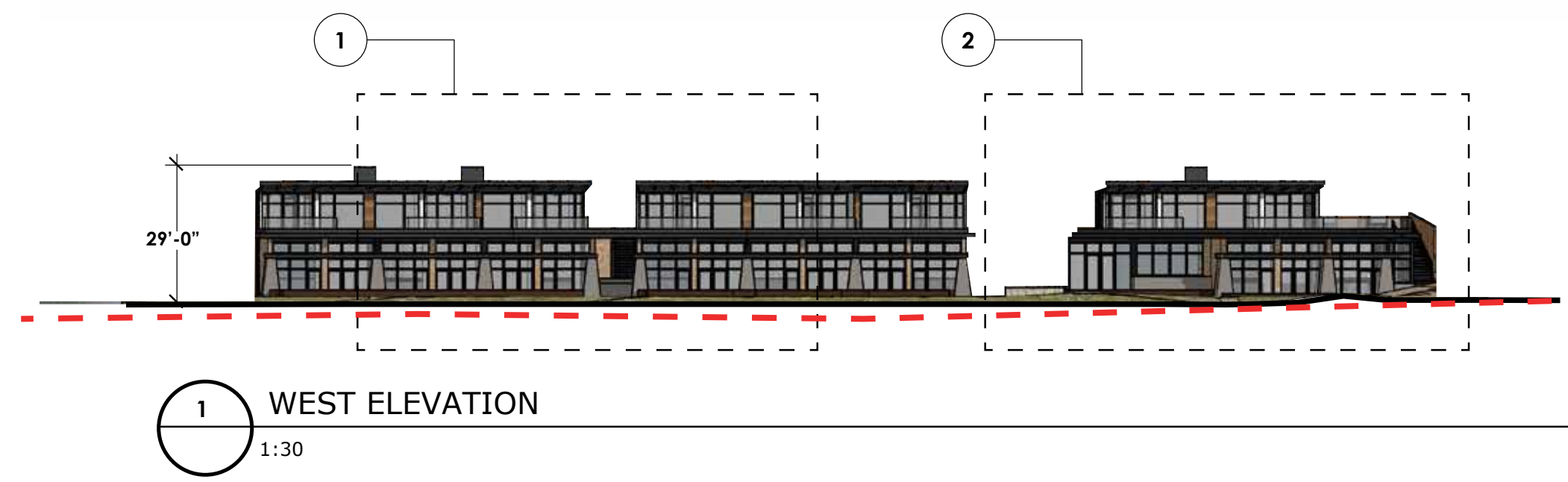
DATE: MARCH 2023

SHEET NAME:

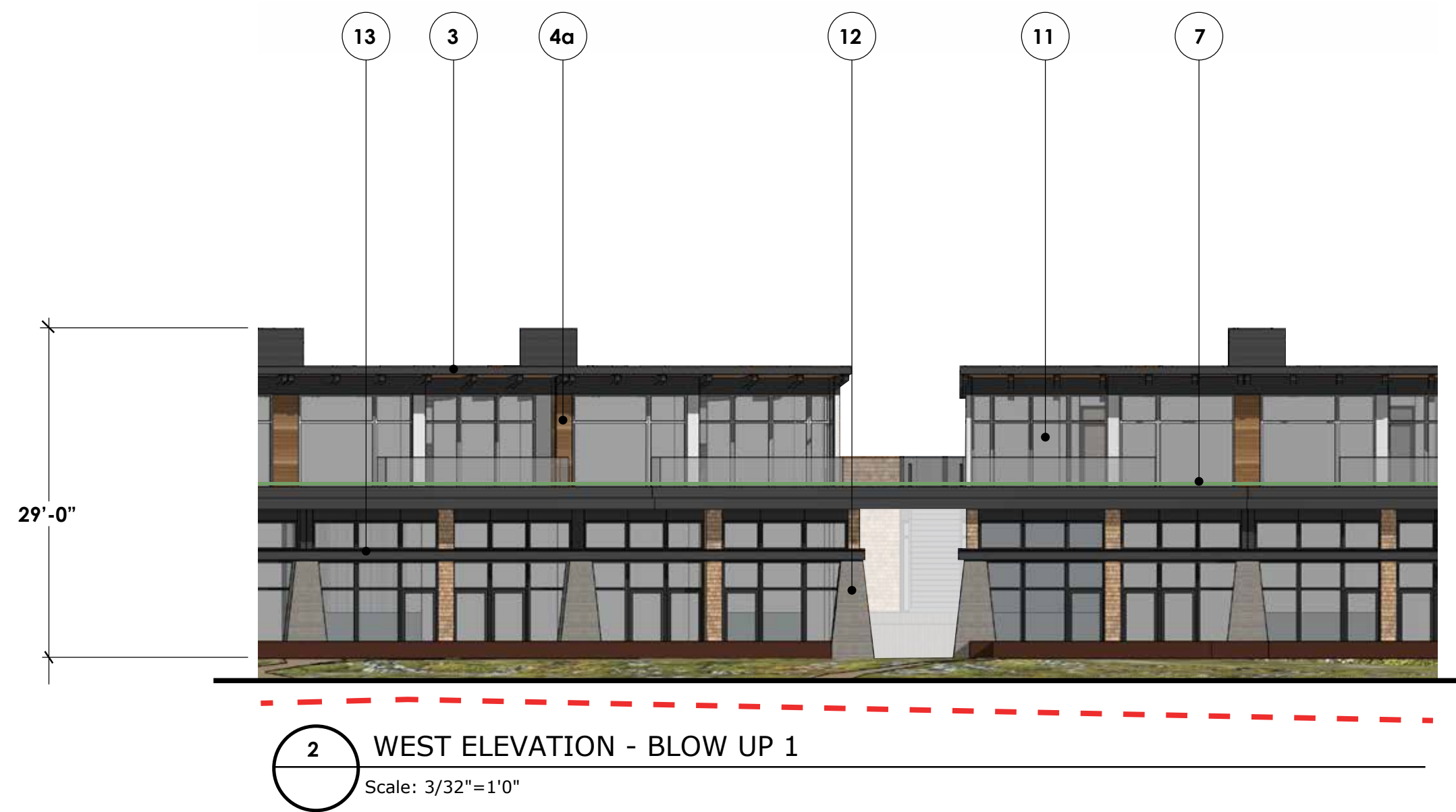
SOUTH ELEVATIONS

NOTES:

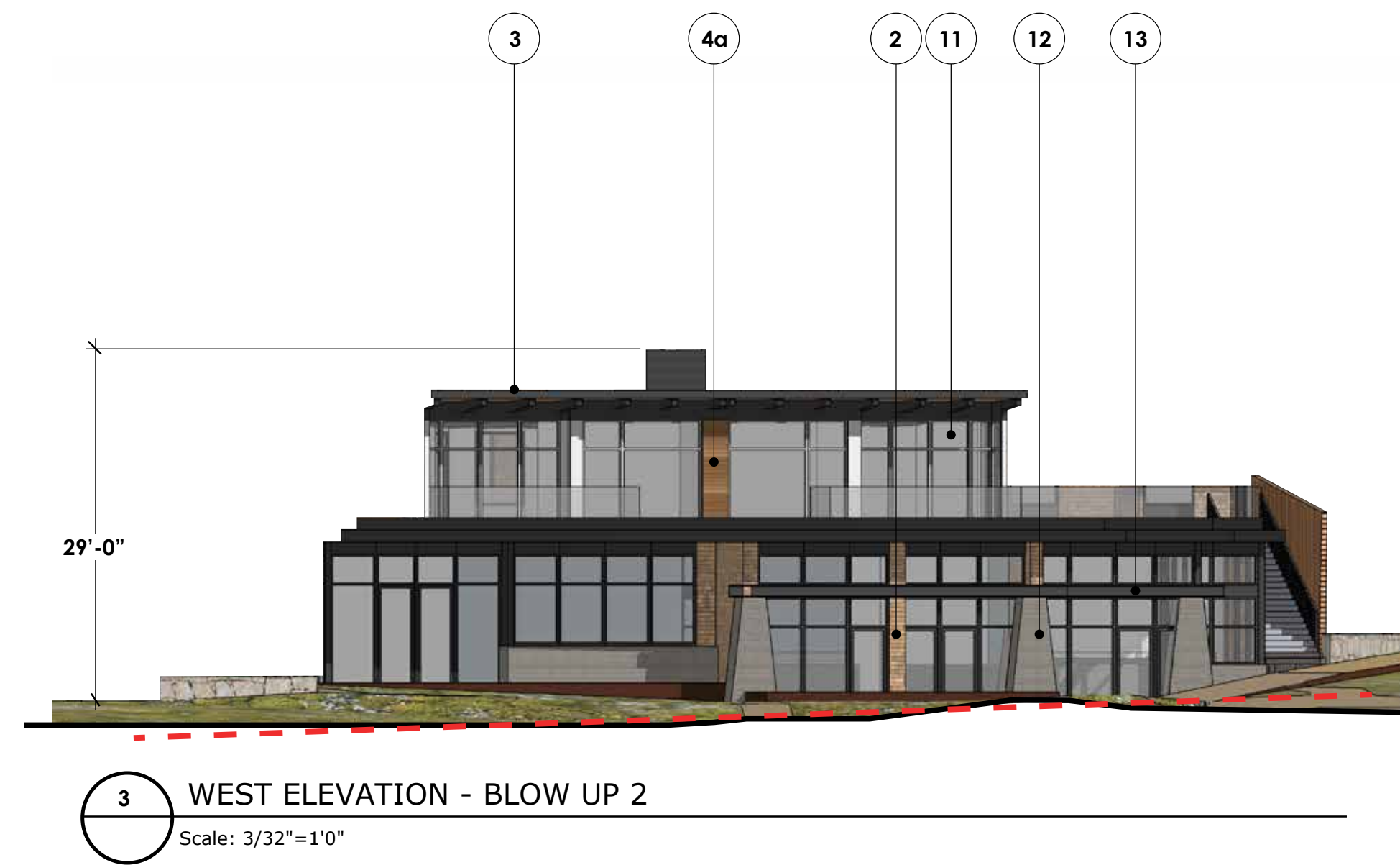
- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS



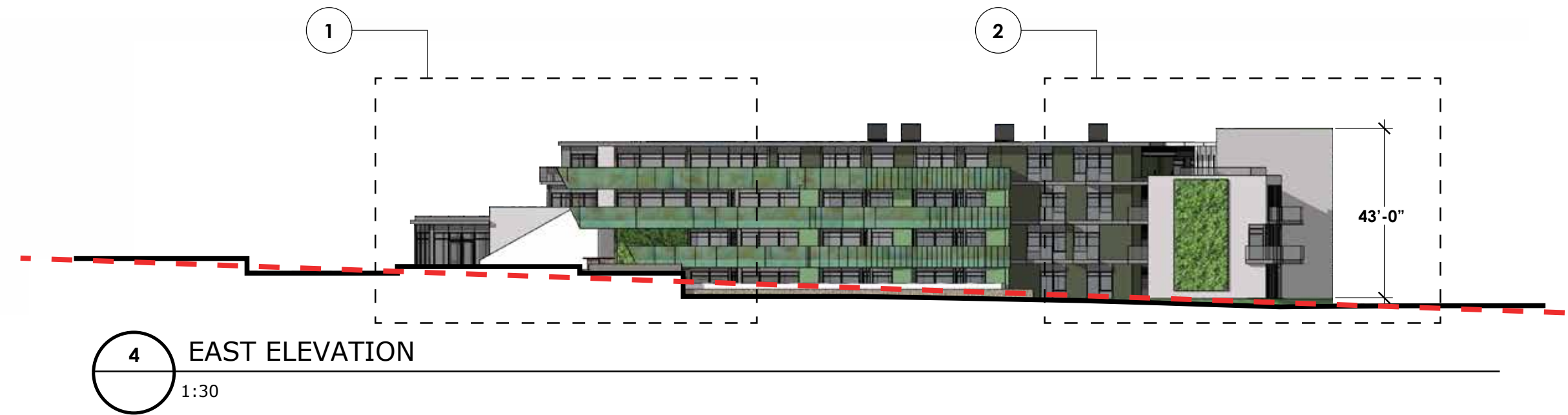
1 WEST ELEVATION
1:30



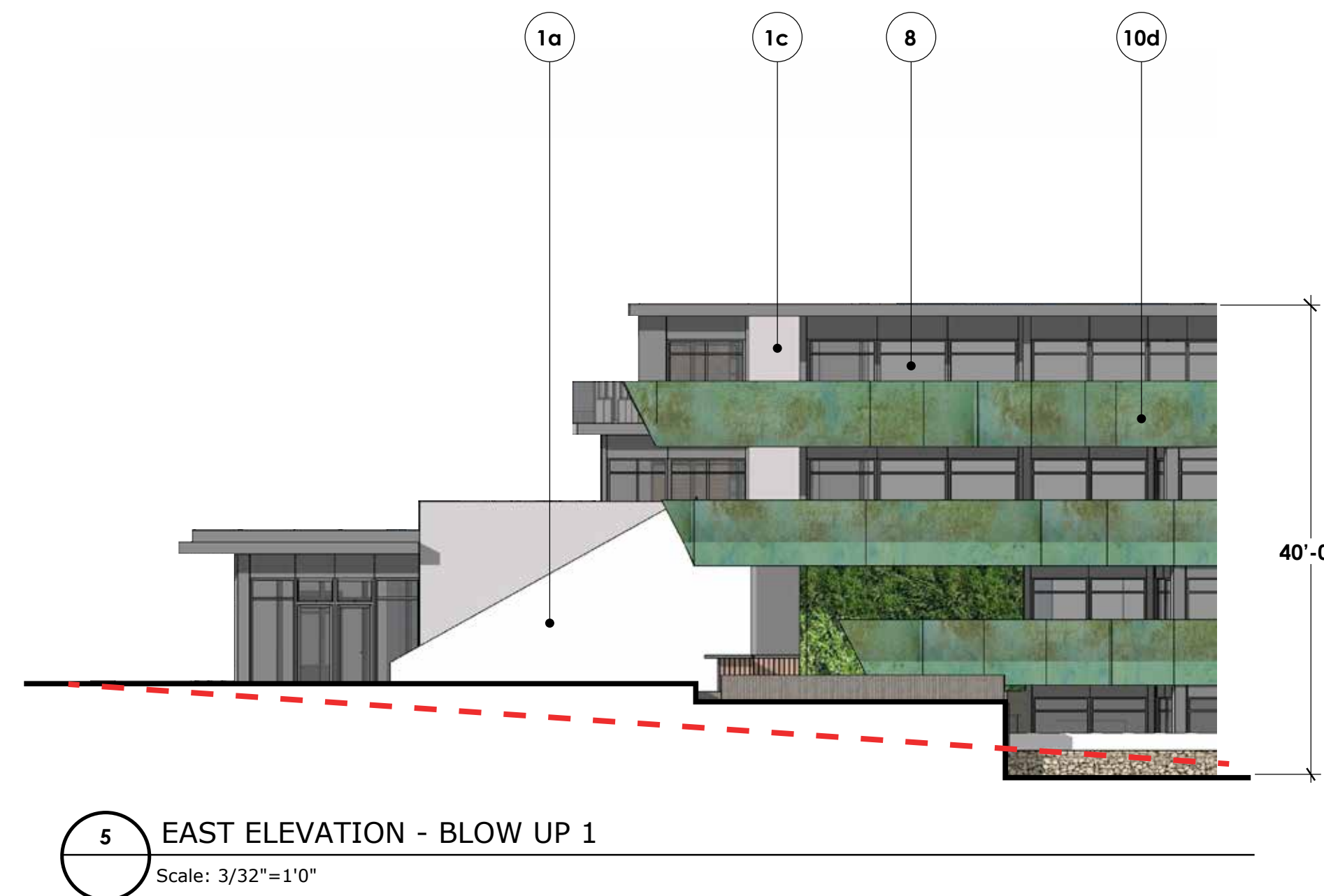
2 WEST ELEVATION - BLOW UP 1
Scale: 3/32"=1'0"



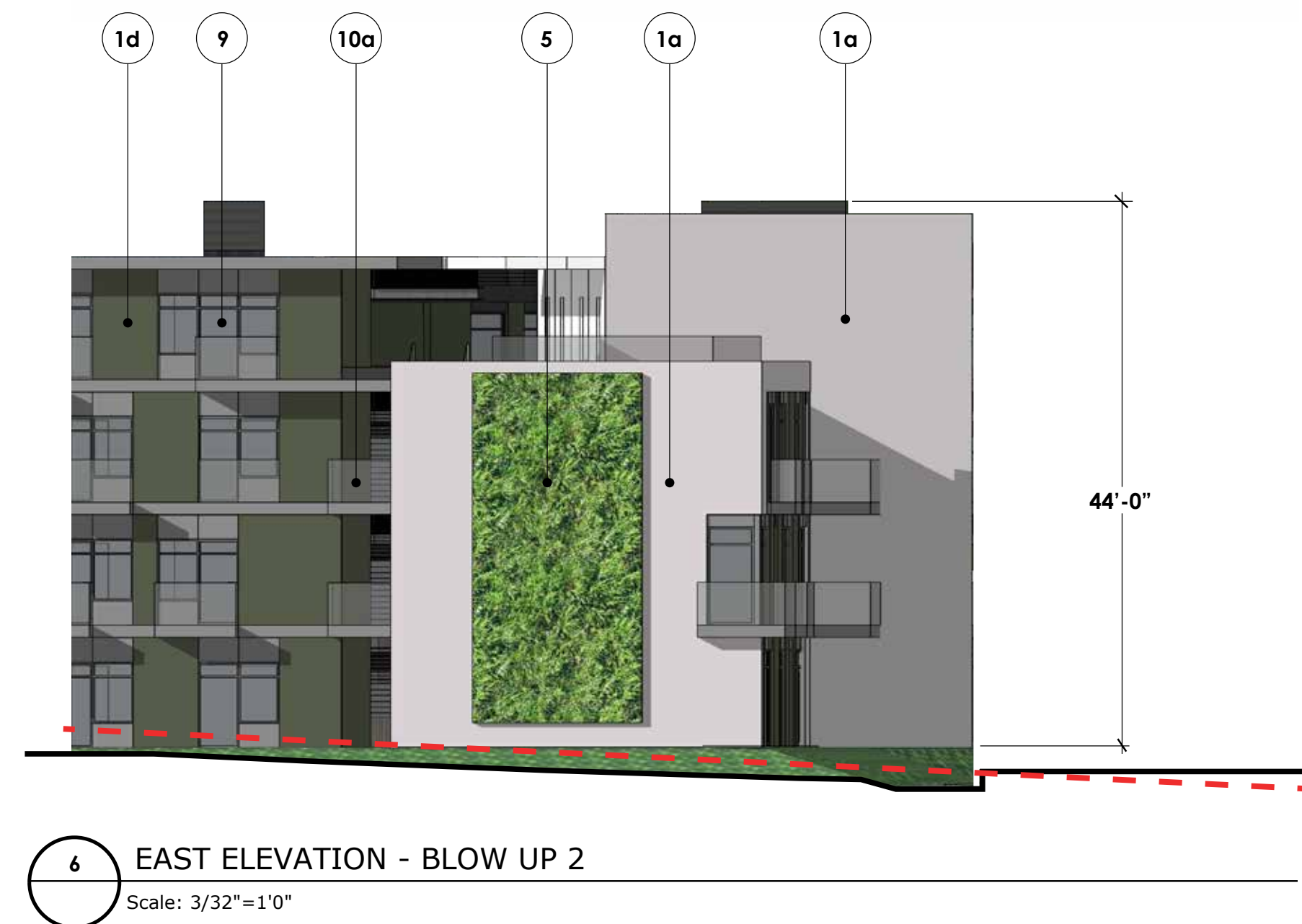
3 WEST ELEVATION - BLOW UP 2
Scale: 3/32"=1'0"



4 EAST ELEVATION
1:30



5 EAST ELEVATION - BLOW UP 1
Scale: 3/32"=1'0"



6 EAST ELEVATION - BLOW UP 2
Scale: 3/32"=1'0"



EXISTING GRADE - - - - -

MATERIAL LEGEND

- Plaster
 - Light Beige
 - Dark Beige
 - Light French Grey
 - Dark Green
 - Dark French Grey
- Oiled Wood Shingles
- Painted Wood Fascia
- Wood Siding
 - Oiled Horizontal
 - Stained Horizontal
 - Stained Vertical
- Green Wall
- Exterior Steel Stair
- Green Roof
- Window Wall
- Aluminum Window
- Guardrail
 - Glass
 - Horizontal Metal Bar
 - Metal Mesh
 - Solid Metal
- Folding Glass Wall
- Stacked Stone Wall
- Steel Channel
- Pool Fence
- Stone Veneer Wall
- Standing Seam Metal Roof
- Roll-up Garage Door
- Roof-top Equipment Screen - Painted Metal
- Vertical Wood Slat Wall

* All wood products and finishes to be selected with consideration on the ocean front location

REVISIONS:

REV:

PROJECT NO: 2022-10.01

DRAWN BY: SA

REVIEWED BY: JBC

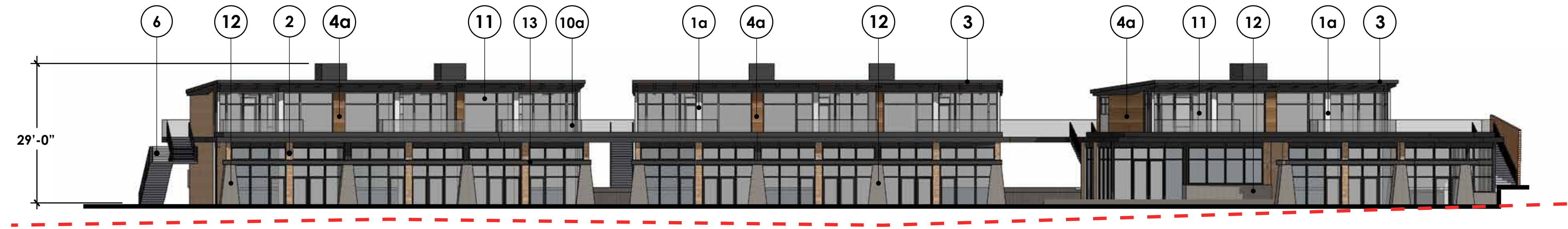
DATE: MARCH 2023

SHEET NAME:

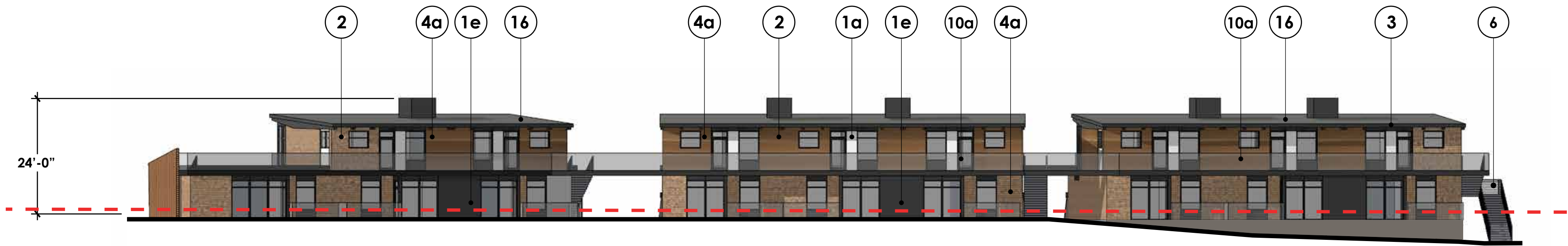
WEST & EAST ELEVATIONS

NOTES:

- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS



1 BUILDING A - WEST ELEVATION
Scale: 1/16"=1'0"



2 BUILDING A - EAST ELEVATION
Scale: 1/16"=1'0"



3 BUILDING B - WEST ELEVATION
Scale: 1/16"=1'0"



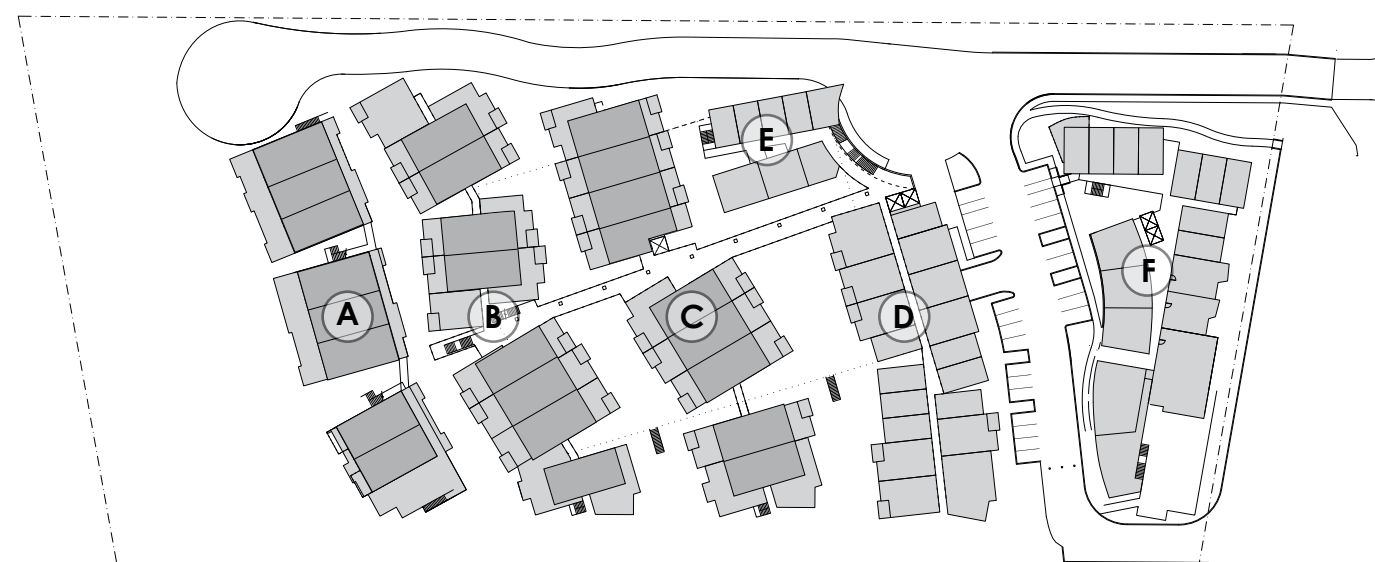
4 BUILDING B - EAST ELEVATION
Scale: 1/16"=1'0"

EXISTING GRADE - - - - -

MATERIAL LEGEND

- Plaster
 - Light Beige
 - Dark Beige
 - Light French Grey
 - Dark Green
 - Dark French Grey
- Oiled Wood Shingles
- Painted Wood Fascia
- Wood Siding
 - Oiled Horizontal
 - Stained Horizontal
 - Stained Vertical
- Green Wall
- Exterior Steel Stair
- Green Roof
- Window Wall
- Aluminum Window
- Guardrail
 - Glass
 - Horizontal Metal Bar
 - Metal Mesh
 - Solid Metal
- Folding Glass Wall
- Stacked Stone Wall
- Steel Channel
- Pool Fence
- Stone Veneer Wall
- Standing Seam Metal Roof
- Roll-up Garage Door
- Rooftop Equipment Screen - Painted Metal
- Vertical Wood Slat Wall

* All wood products and finishes to be selected with consideration on the ocean front location



1/16" = 1'-0" 0 4 12 24 36 48 FT

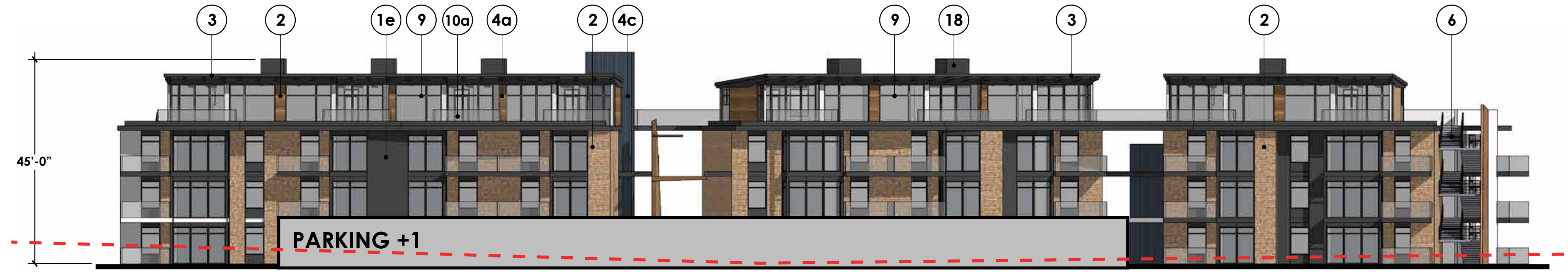
REVISIONS:
REV:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:
ELEVATIONS BLDG. A & B

NOTES:

- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS



1 BUILDING C - WEST ELEVATION
Scale: 1/16"=1'0"



2 BUILDING C - EAST ELEVATION
Scale: 1/16"=1'0"



3 BUILDING D - WEST ELEVATION
Scale: 1/16"=1'0"



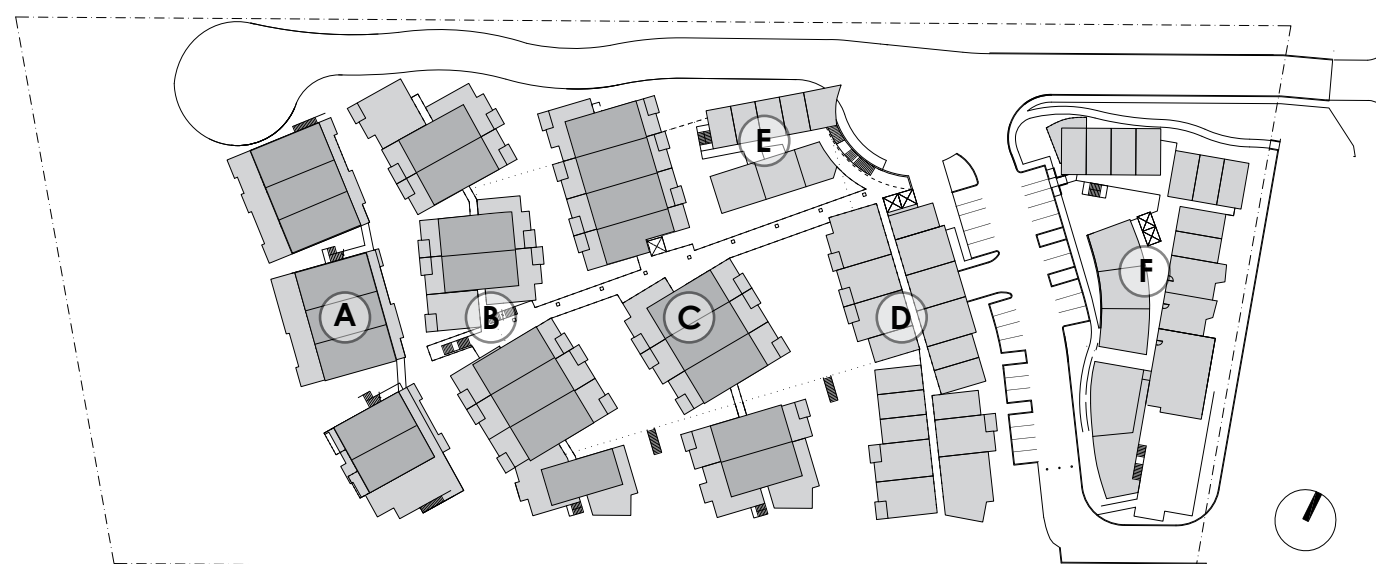
4 BUILDING D - EAST ELEVATION
Scale: 1/16"=1'0"

EXISTING GRADE - - - - -

MATERIAL LEGEND

- Plaster
 - Light Beige
 - Dark Beige
 - Light French Grey
 - Dark Green
 - Dark French Grey
- Oiled Wood Shingles
- Painted Wood Fascia
- Wood Siding
 - Oiled Horizontal
 - Stained Horizontal
 - Stained Vertical
- Green Wall
- Exterior Steel Stair
- Green Roof
- Window Wall
- Aluminum Window
- Guardrail
 - Glass
 - Horizontal Metal Bar
 - Metal Mesh
 - Solid Metal
- Folding Glass Wall
- Stacked Stone Wall
- Steel Channel
- Pool Fence
- Stone Veneer Wall
- Standing Seam Metal Roof
- Roll-up Garage Door
- Rooftop Equipment Screen - Painted Metal
- Vertical Wood Slat Wall

* All wood products and finishes to be selected with consideration on the ocean front location



1/16" = 1'-0" 0 4 12 24 36 48 FT

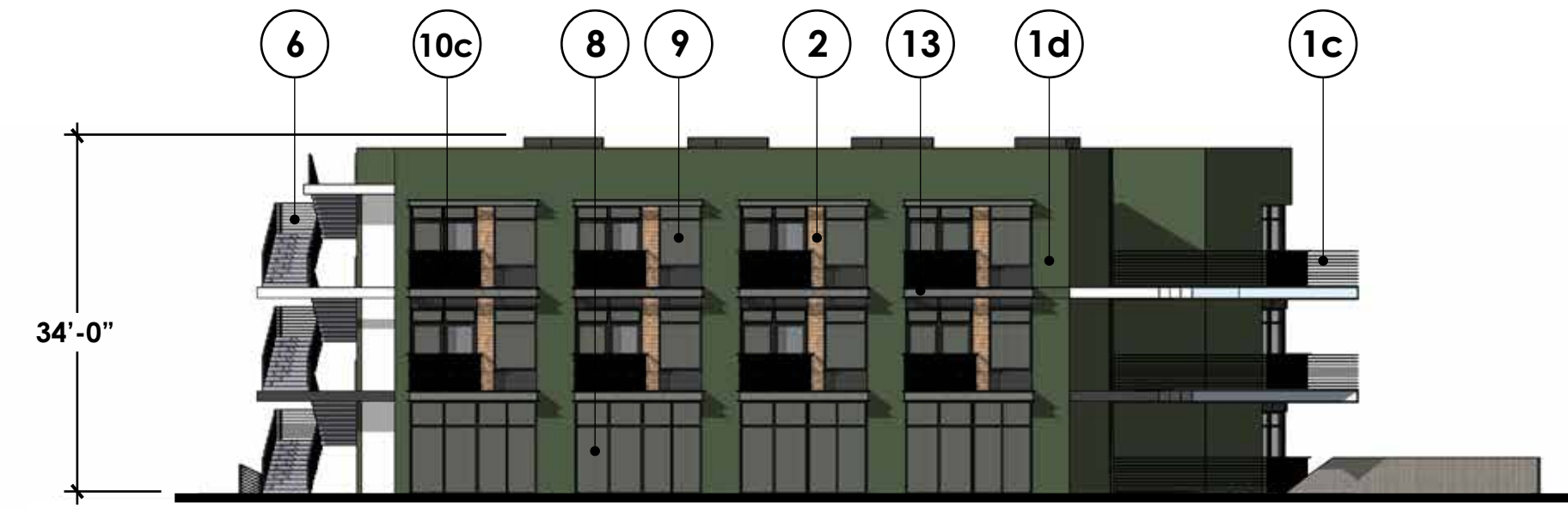
REVISIONS:
REV:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

SHEET NAME:
ELEVATIONS BLDG. C & D

NOTES:

- FOR WALL / FENCE HEIGHT SEE CIVIL & LANDSCAPE PLANS
- FOR HEIGHT TO CITY BENCHMARK SEE CIVIL PLANS
- NO SKYLIGHTS & CHIMNEYS



1 BUILDING E - SOUTH ELEVATION
Scale: 1/16"=1'0"

EXISTING GRADE - - - - -

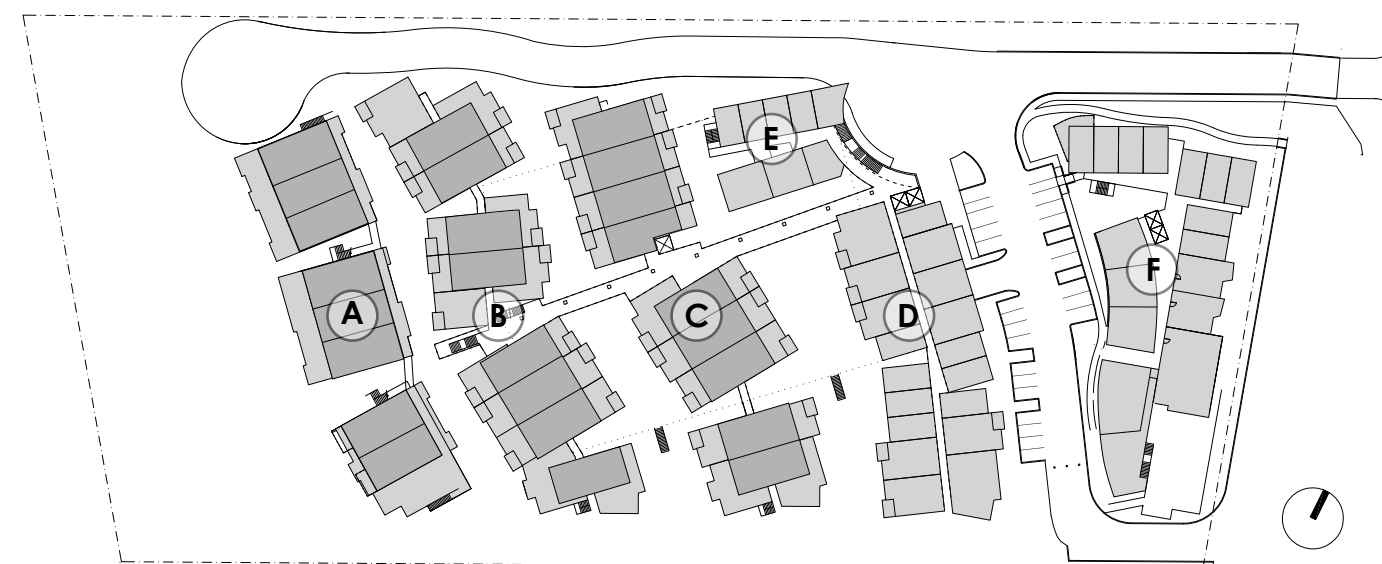
MATERIAL LEGEND

- Plaster
 - Light Beige
 - Dark Beige
 - Light French Grey
 - Dark Green
 - Dark French Grey
- Oiled Wood Shingles
- Painted Wood Fascia
- Wood Siding
 - Oiled Horizontal
 - Stained Horizontal
 - Stained Vertical
- Green Wall
- Exterior Steel Stair
- Green Roof
- Window Wall
- Aluminum Window
- Guardrail
 - Glass
 - Horizontal Metal Bar
 - Metal Mesh
 - Solid Metal
- Folding Glass Wall
- Stacked Stone Wall
- Steel Channel
- Pool Fence
- Stone Veneer Wall
- Standing Seam Metal Roof
- Roll-up Garage Door
- Rooftop Equipment Screen - Painted Metal
- Vertical Wood Slat Wall

* All wood products and finishes to be selected with consideration on the ocean front location



2 BUILDING F - WEST ELEVATION
Scale: 1/16"=1'0"



1/16" = 1'-0" 0 4 12 24 36 48 FT

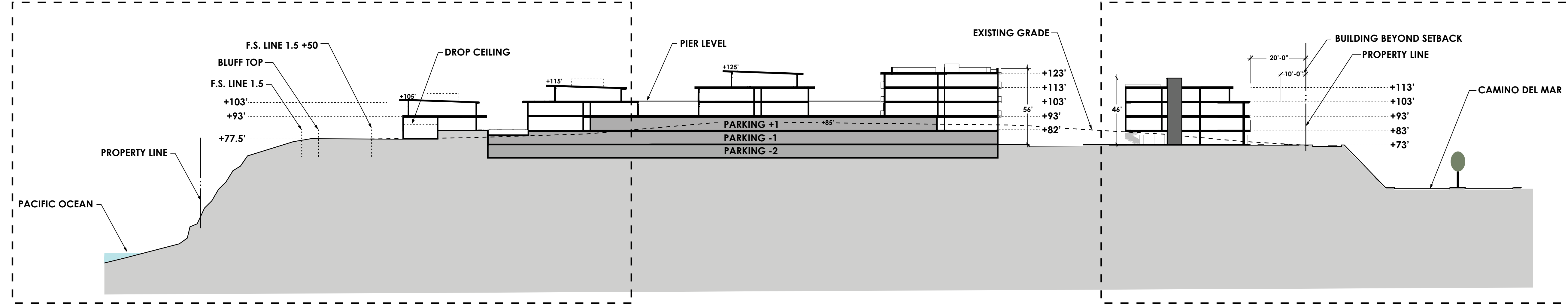
REVISIONS:
REV:

PROJECT NO: 2022-10.01
DRAWN BY: SA
REVIEWED BY: JBC
DATE: MARCH 2023

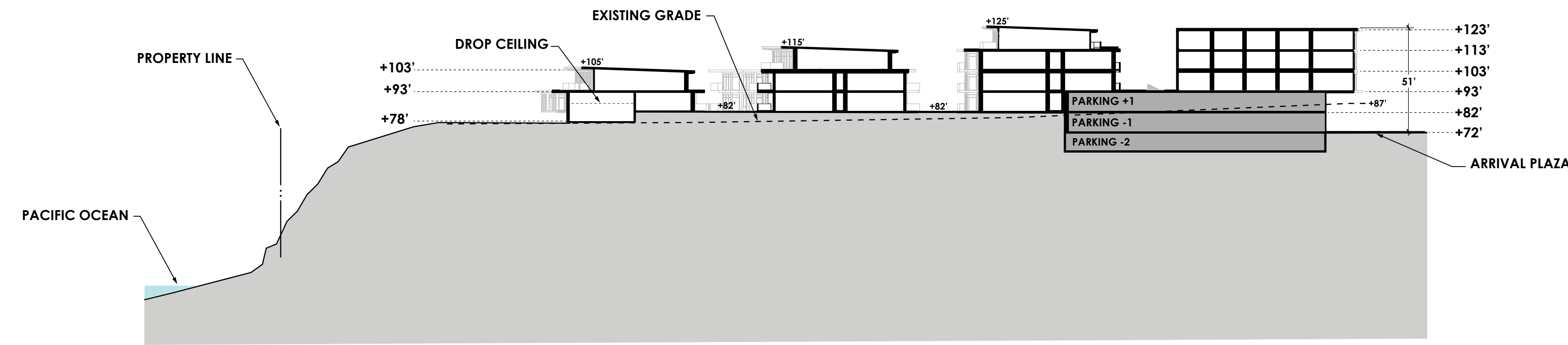
SHEET NAME:

ELEVATIONS BLDG. E & F

SEE SECTION A-3.2 FOR BLOW-UP B

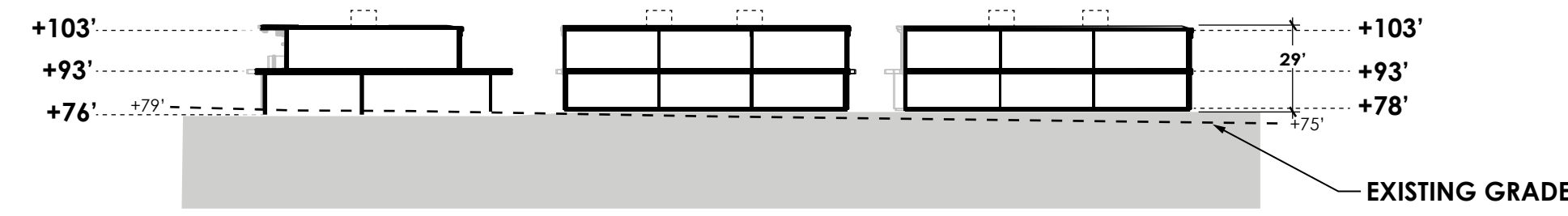


1 SECTION 1
SCALE: 1"=40'

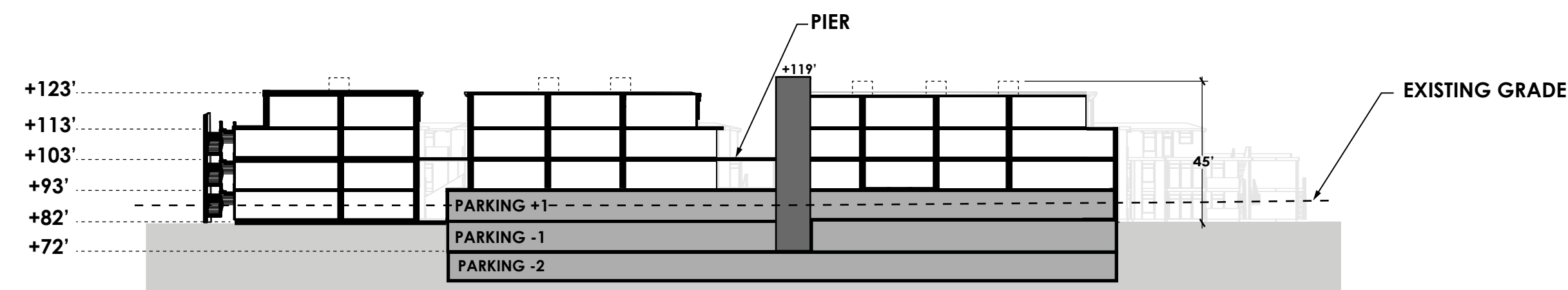


2 SECTION 2
SCALE: 1"=40'

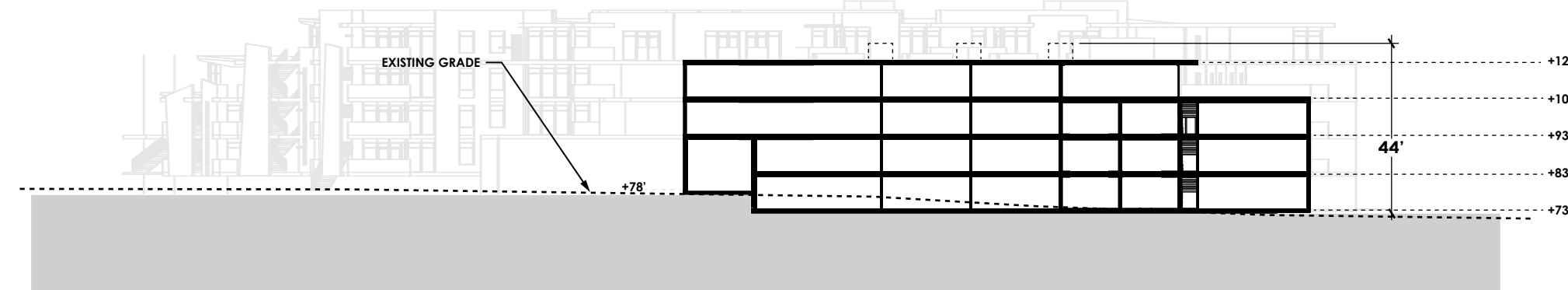




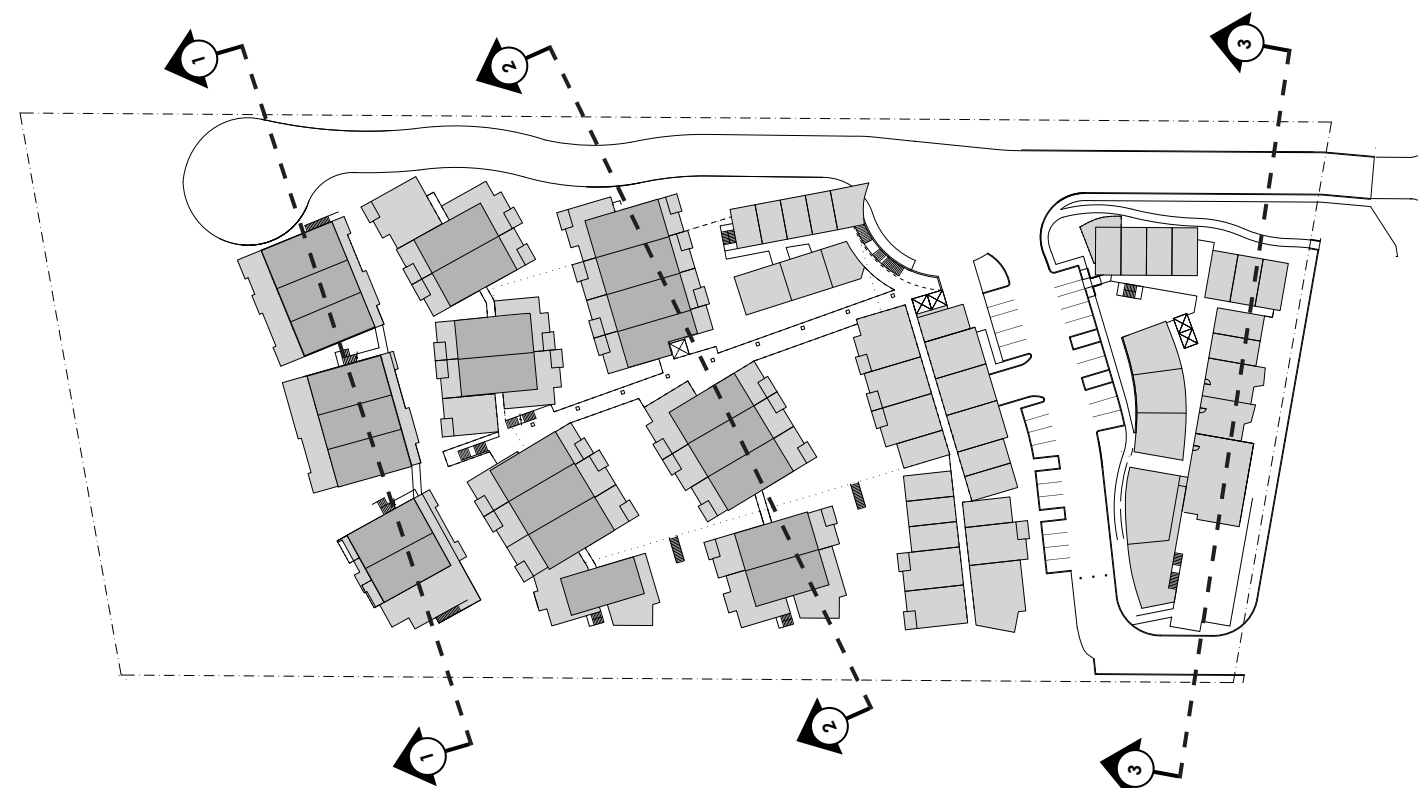
1 SECTION 1
SCALE: 1"=40'

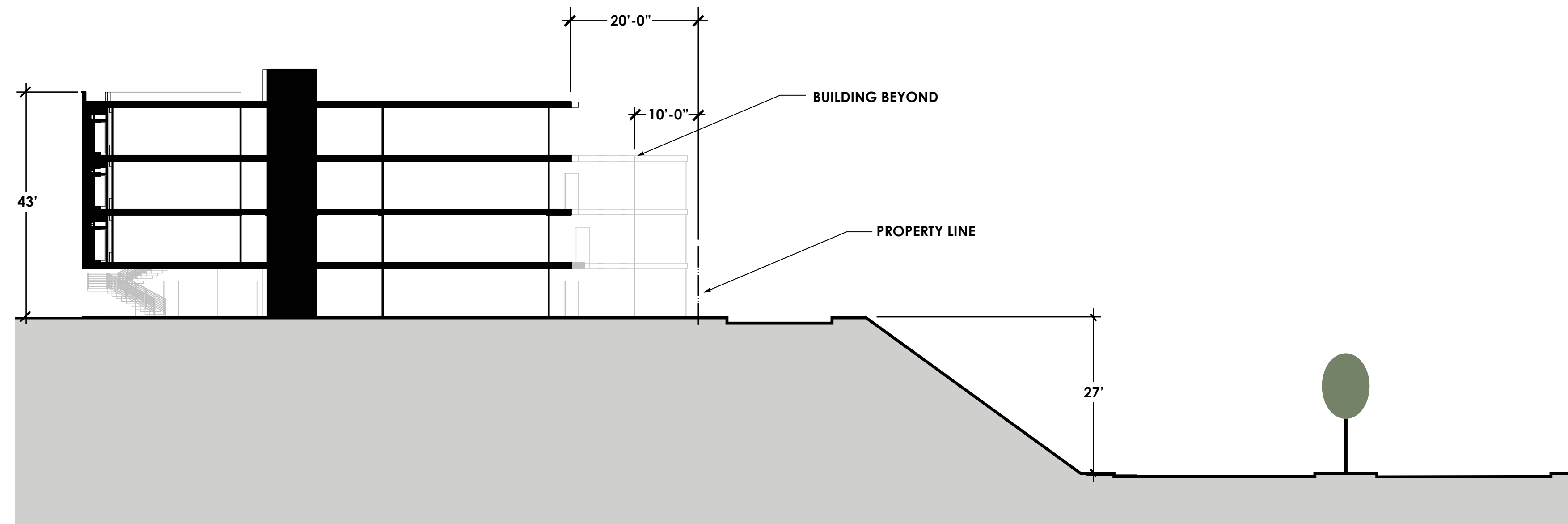


2 SECTION 2
SCALE: 1"=40'

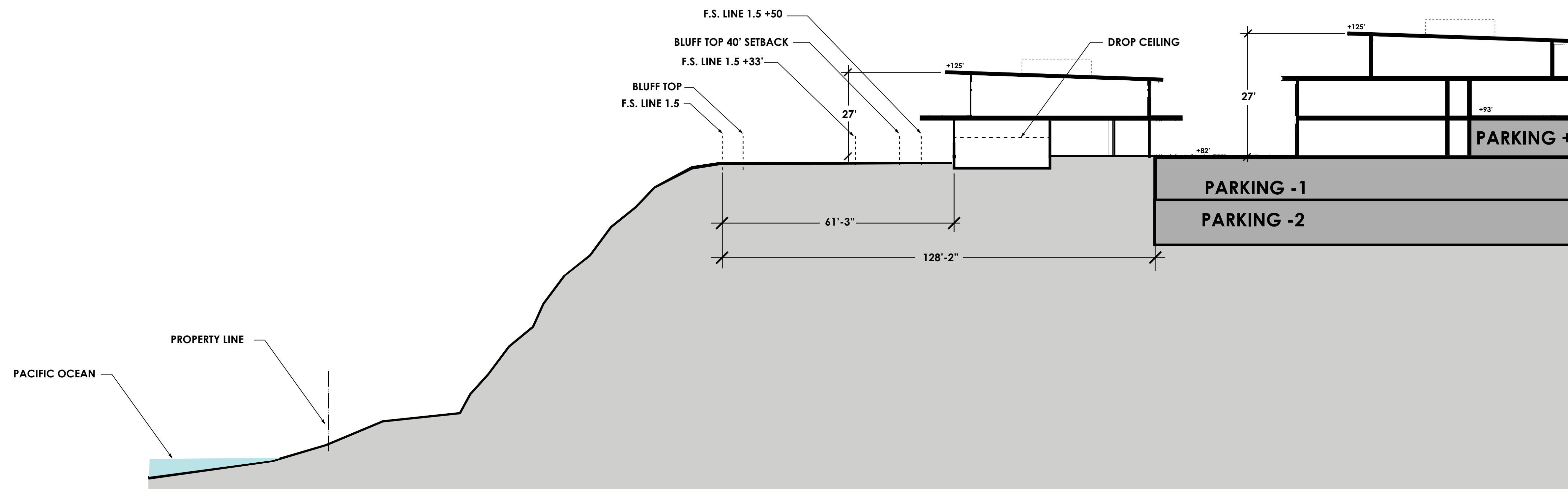


3 SECTION 3
SCALE: 1"=40'





1 SECTION 1 - BLOW UP B
SCALE: 1/16"=1'-0"



2 SECTION 1 - BLOW UP A
SCALE: 1/16"=1'-0"

