



DEL MAR CIVIC CENTER

**Entitlements Hearing
January 4, 2016**



SPURLOCK POIRIER
LANDSCAPE ARCHITECTS

CAMINO DEL MAR

+/- 136'

+/- 145'

TOWN HALL

FLOOR: +136.5'

BREEZEWAY

PLAZA LEVEL: +136.5'

CITY HALL

FLOOR LEVEL: +136.5'

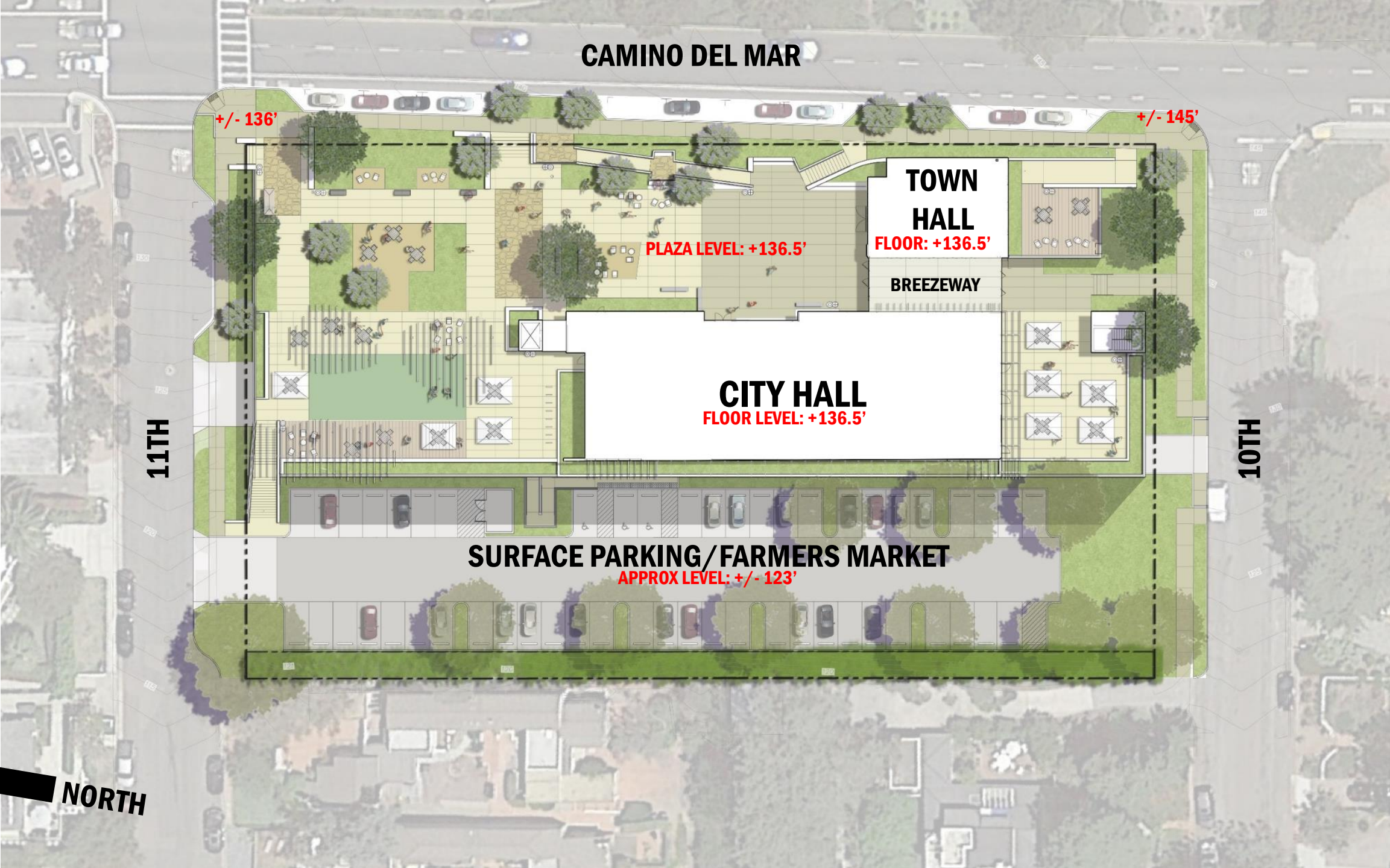
11TH

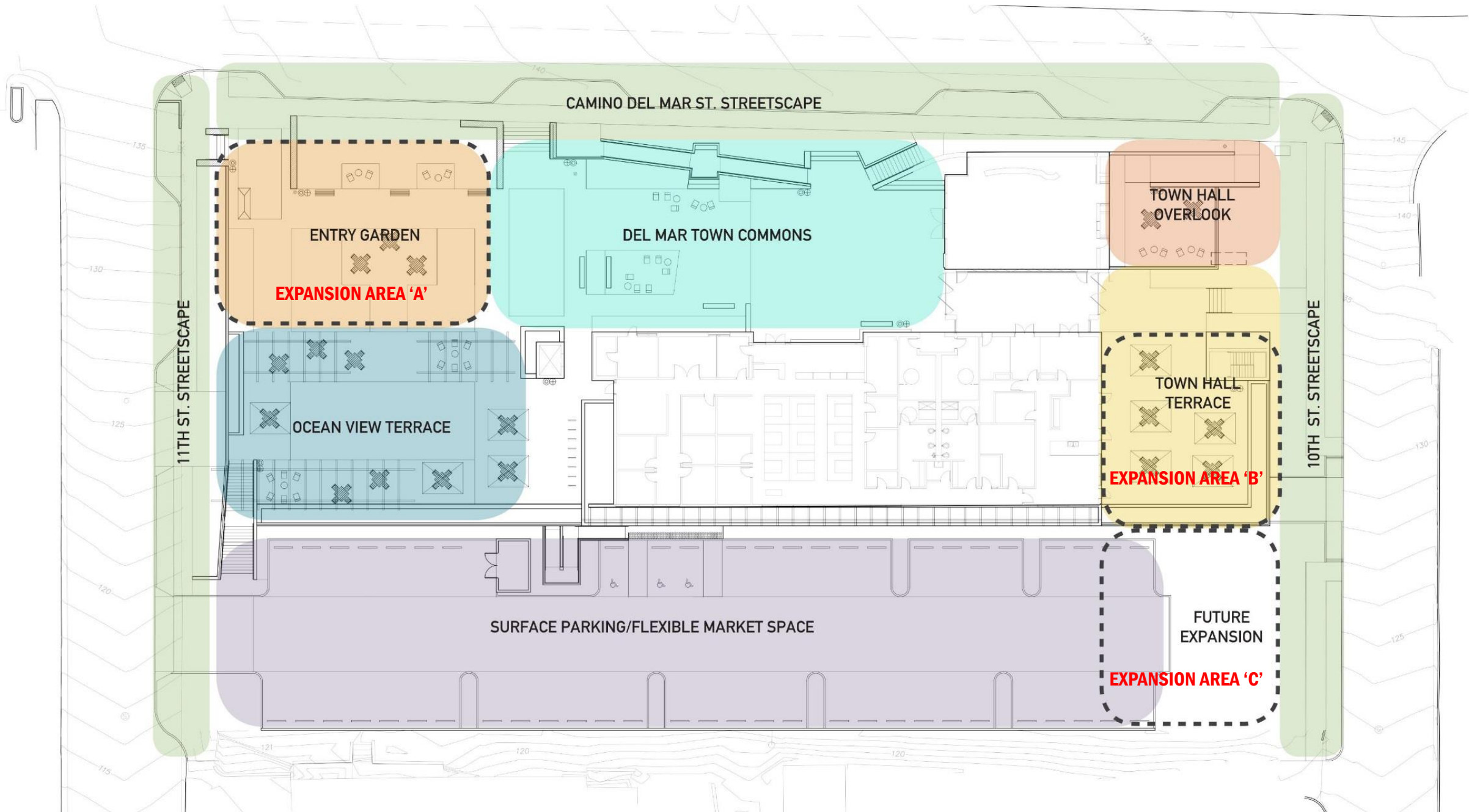
10TH

SURFACE PARKING/FARMERS MARKET

APPROX LEVEL: +/- 123'

NORTH





CAMINO DEL MAR ST. STREETScape

11TH ST. STREETScape

10TH ST. STREETScape

ENTRY GARDEN
EXPANSION AREA 'A'

DEL MAR TOWN COMMONS

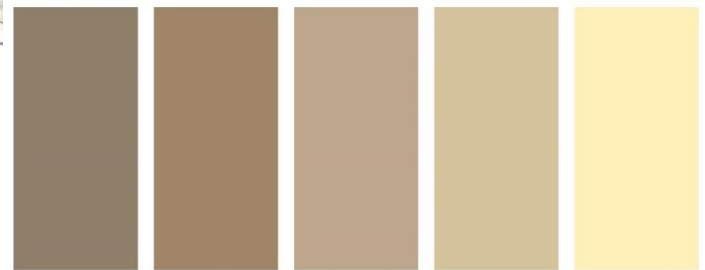
TOWN HALL OVERLOOK

OCEAN VIEW TERRACE

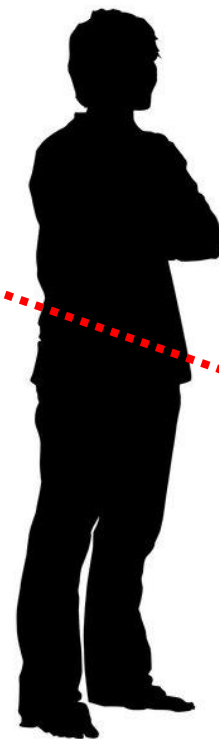
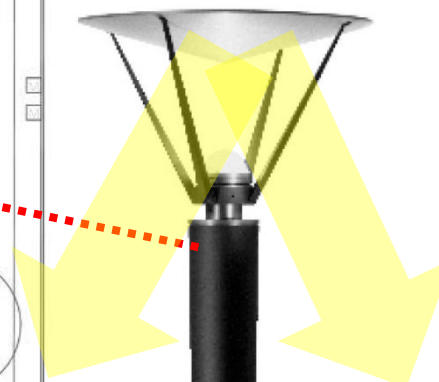
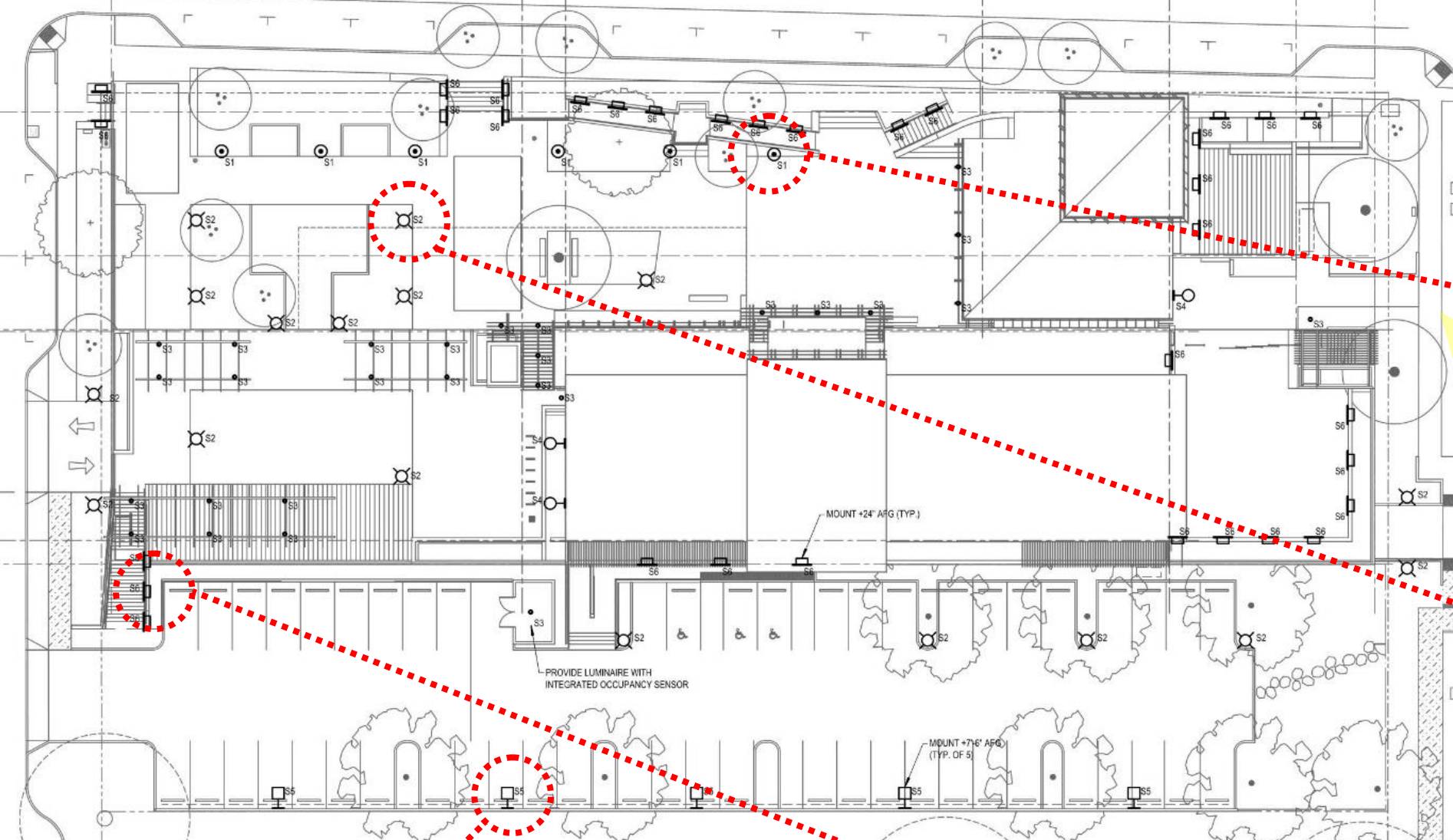
TOWN HALL TERRACE
EXPANSION AREA 'B'

SURFACE PARKING/FLEXIBLE MARKET SPACE
EXPANSION AREA 'C'
FUTURE EXPANSION

MATERIALS REFLECTING NATURE



LIGHTING



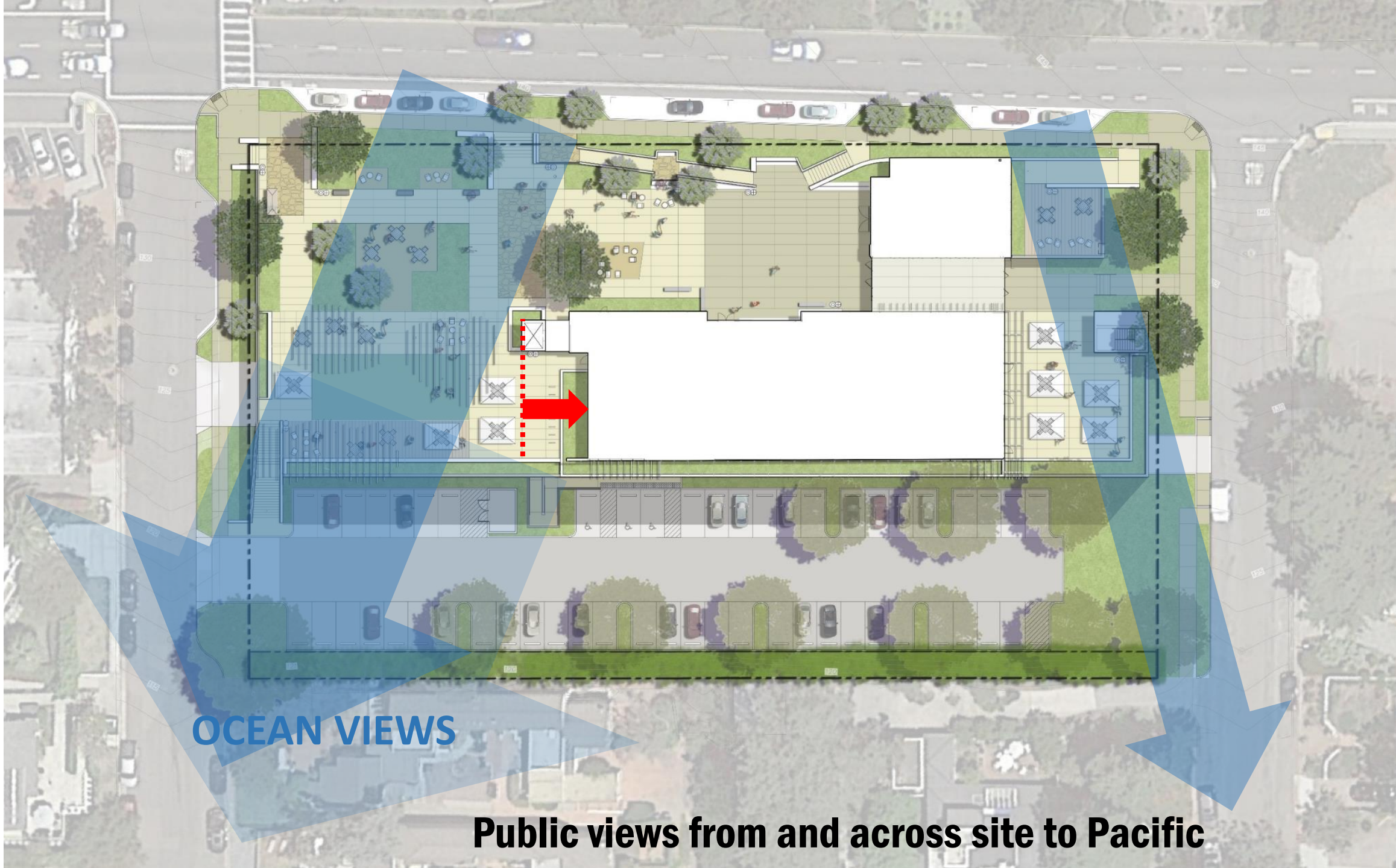
SUSTAINABLE DESIGN STRATEGIES



- **Natural Ventilation**
- **PV-ready**
- **Efficient VRF system**
- **Drought-tolerant landscaping**
- **Limiting Light Pollution**
- **Low-flow fixtures**
- **Responsible Materials**
- **Pervious Paving**
- **Electric Vehicle Charging**
- **Deep overhangs to reduce heat gain**

DRB & CPP CONCERNS

- **Public views from and across site to Pacific**
- **Traffic Circulation-distribution of all egress onto 11th**
- **Privacy along 10th & 11th primarily related to Town Hall Terrace**
- **Noise and Glare from surface parking lot**
- **Too much area devoted to parking**



OCEAN VIEWS

Public views from and across site to Pacific

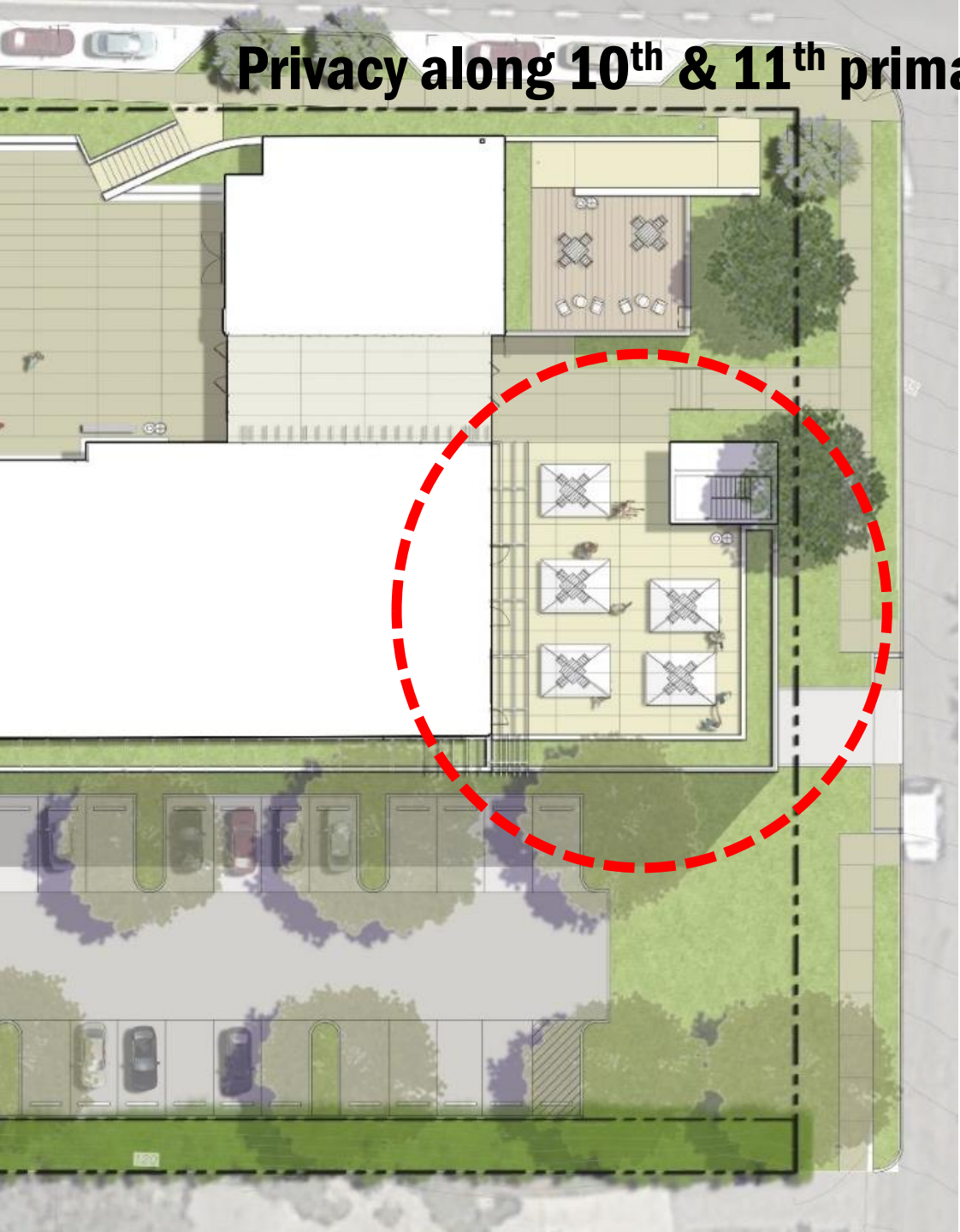
Traffic Circulation-distribution of egress onto 11th



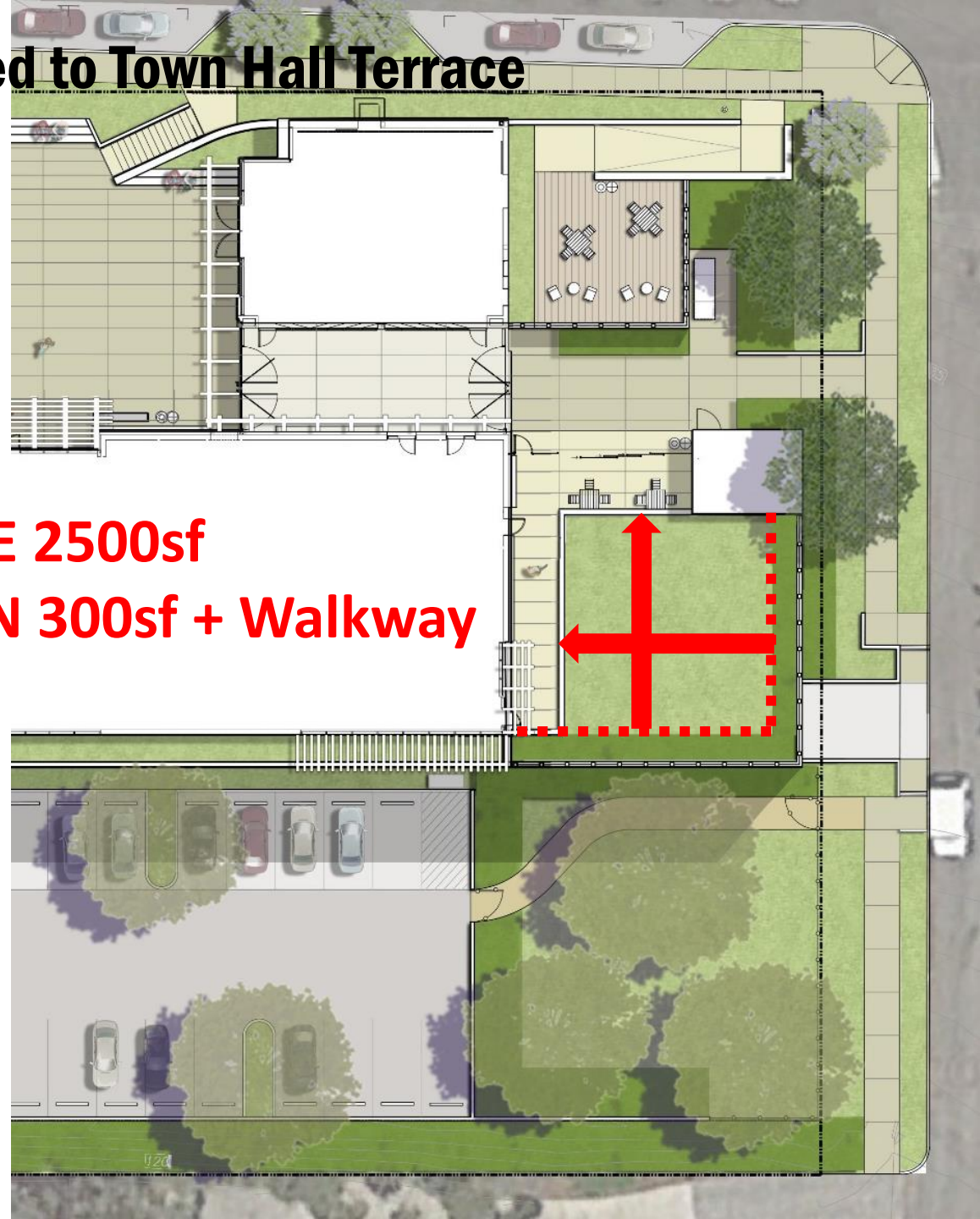
GATE

ALLEY

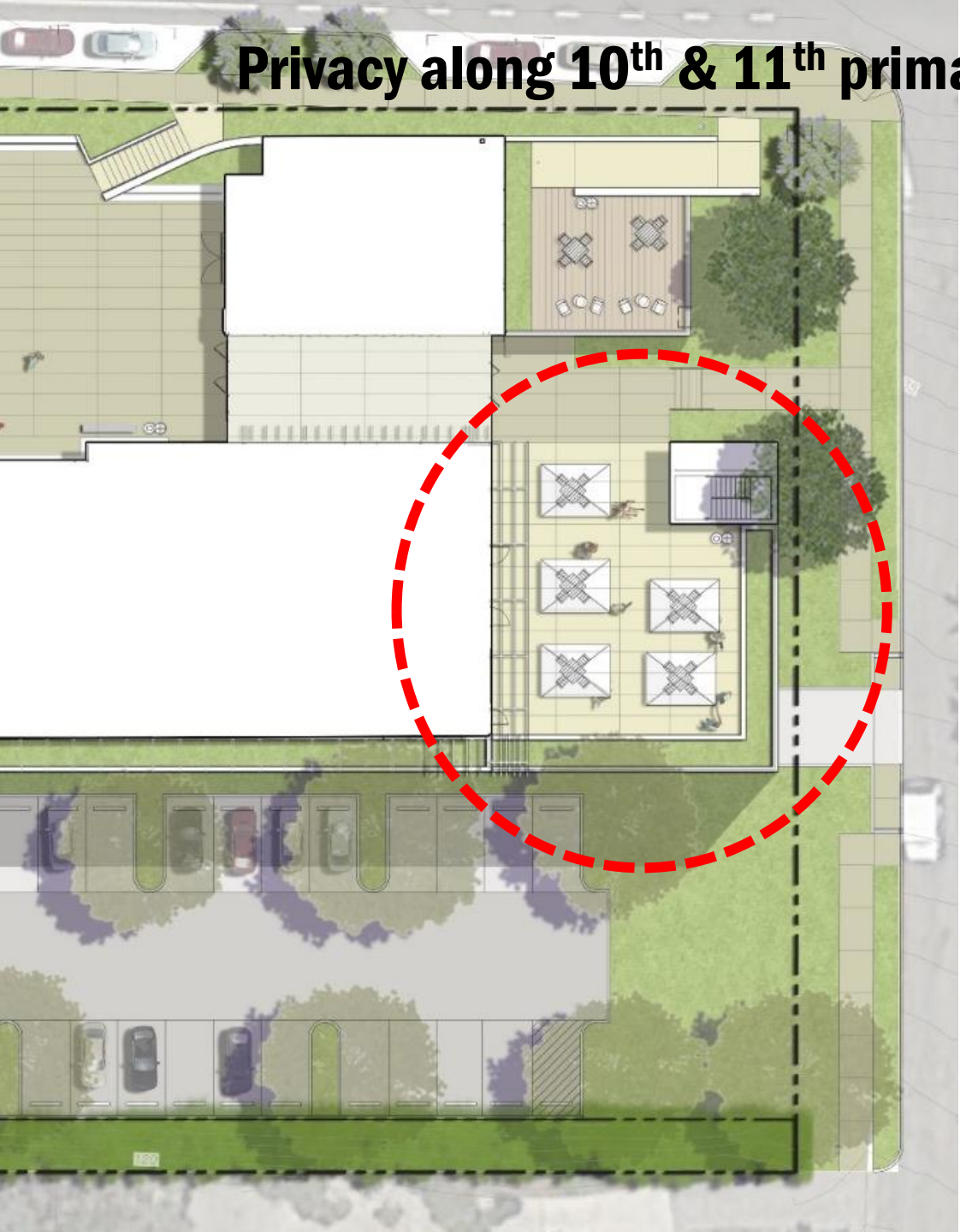
Privacy along 10th & 11th primarily related to Town Hall Terrace



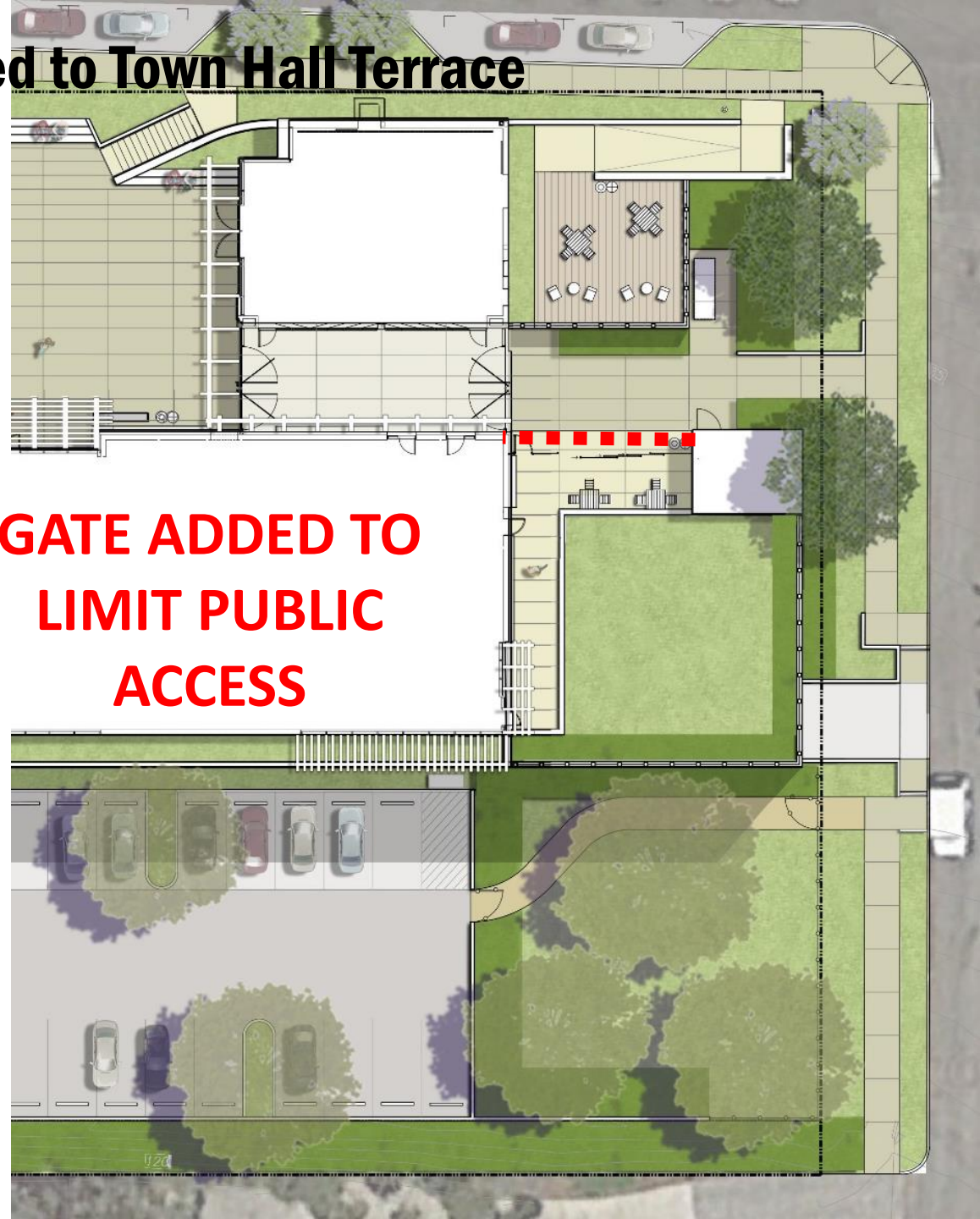
BEFORE 2500sf
OPTION 300sf + Walkway



Privacy along 10th & 11th primarily related to Town Hall Terrace



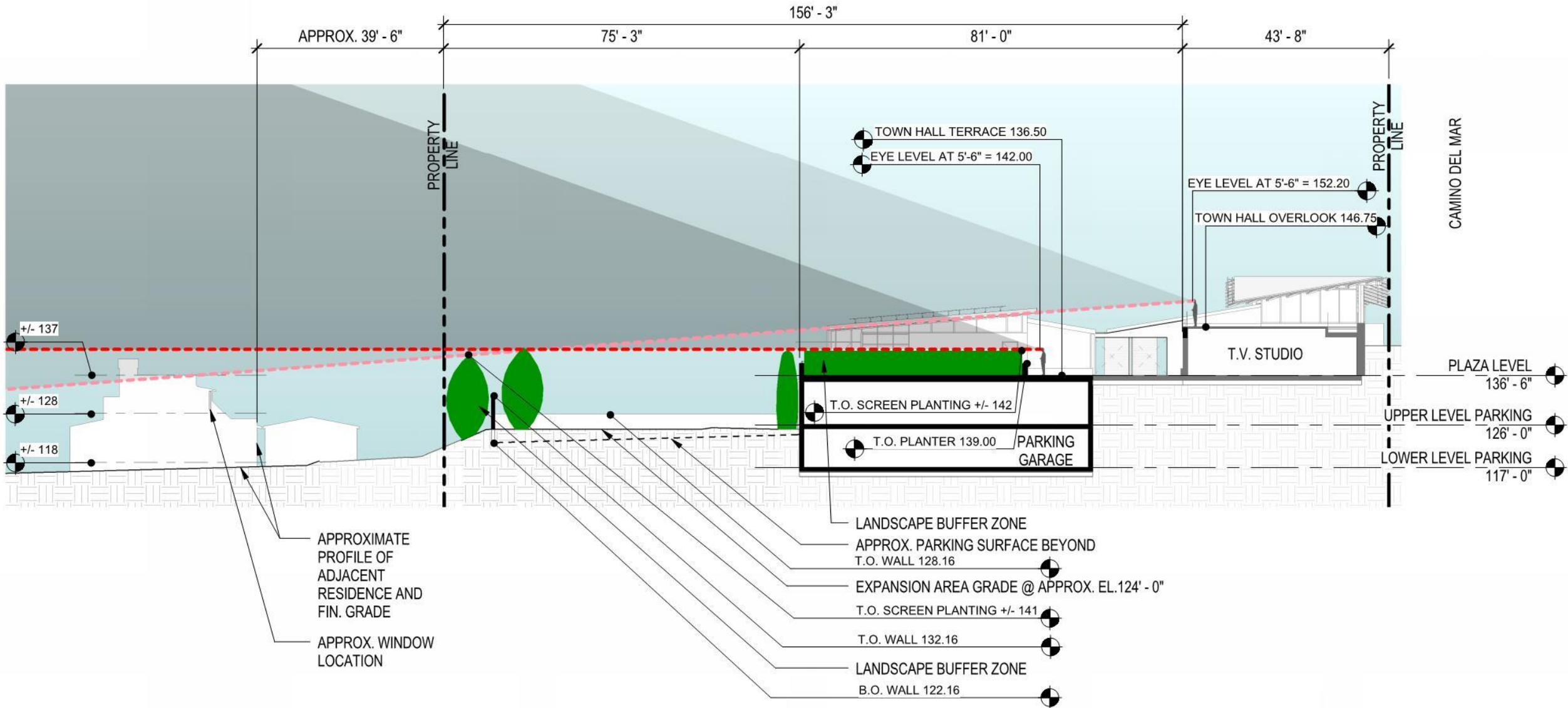
**GATE ADDED TO
LIMIT PUBLIC
ACCESS**



Privacy along 10th & 11th primarily related to Town Hall Terrace



Privacy along 10th & 11th primarily related to Town Hall Terrace





6' HIGH CMU WALL

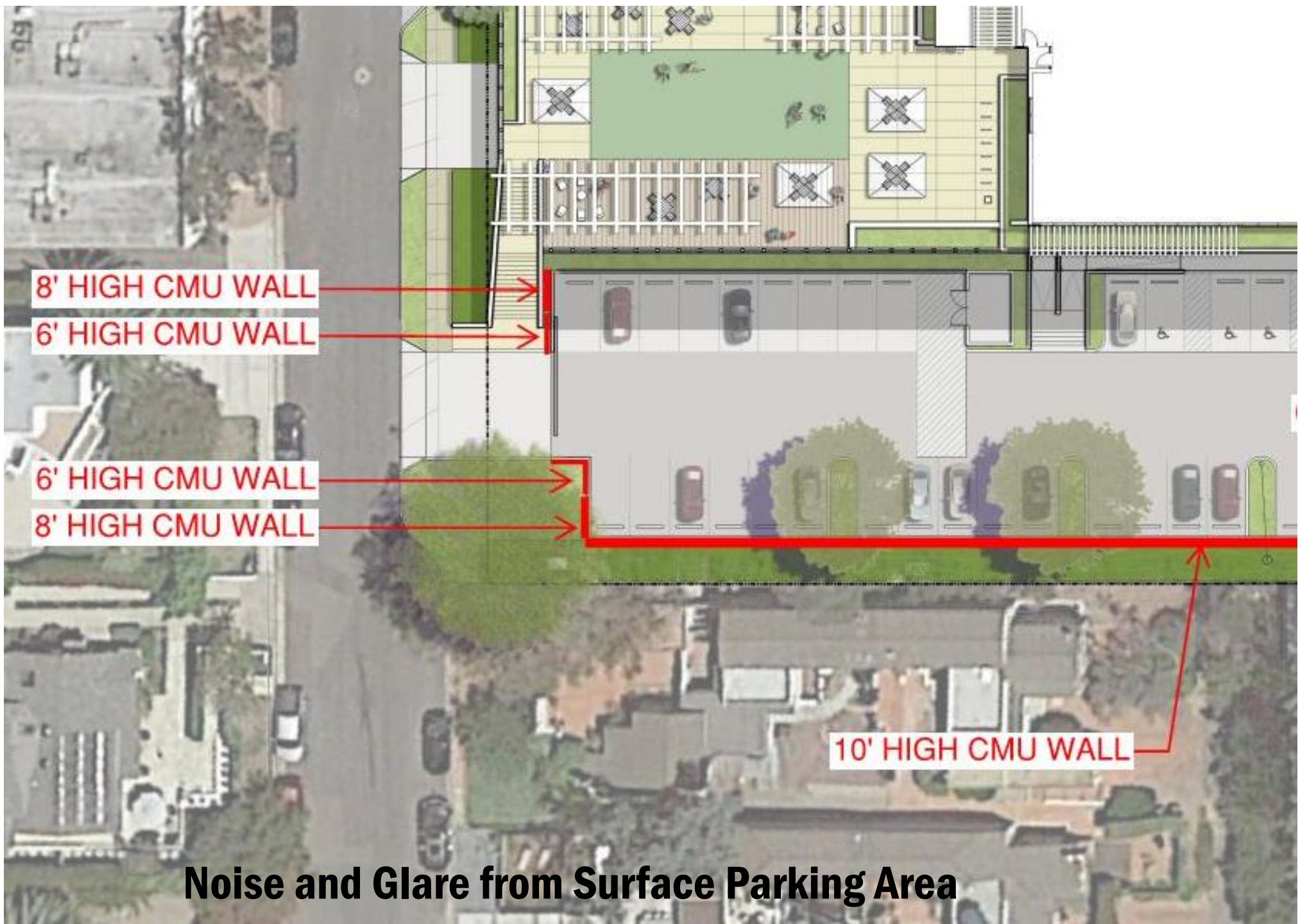
36" HIGH WOOD PICKET FENCE & GATE

20'-0"

10' HIGH CMU WALL

10' HIGH CMU WALL

Noise and Glare from Surface Parking Area



8' HIGH CMU WALL

6' HIGH CMU WALL

6' HIGH CMU WALL

8' HIGH CMU WALL

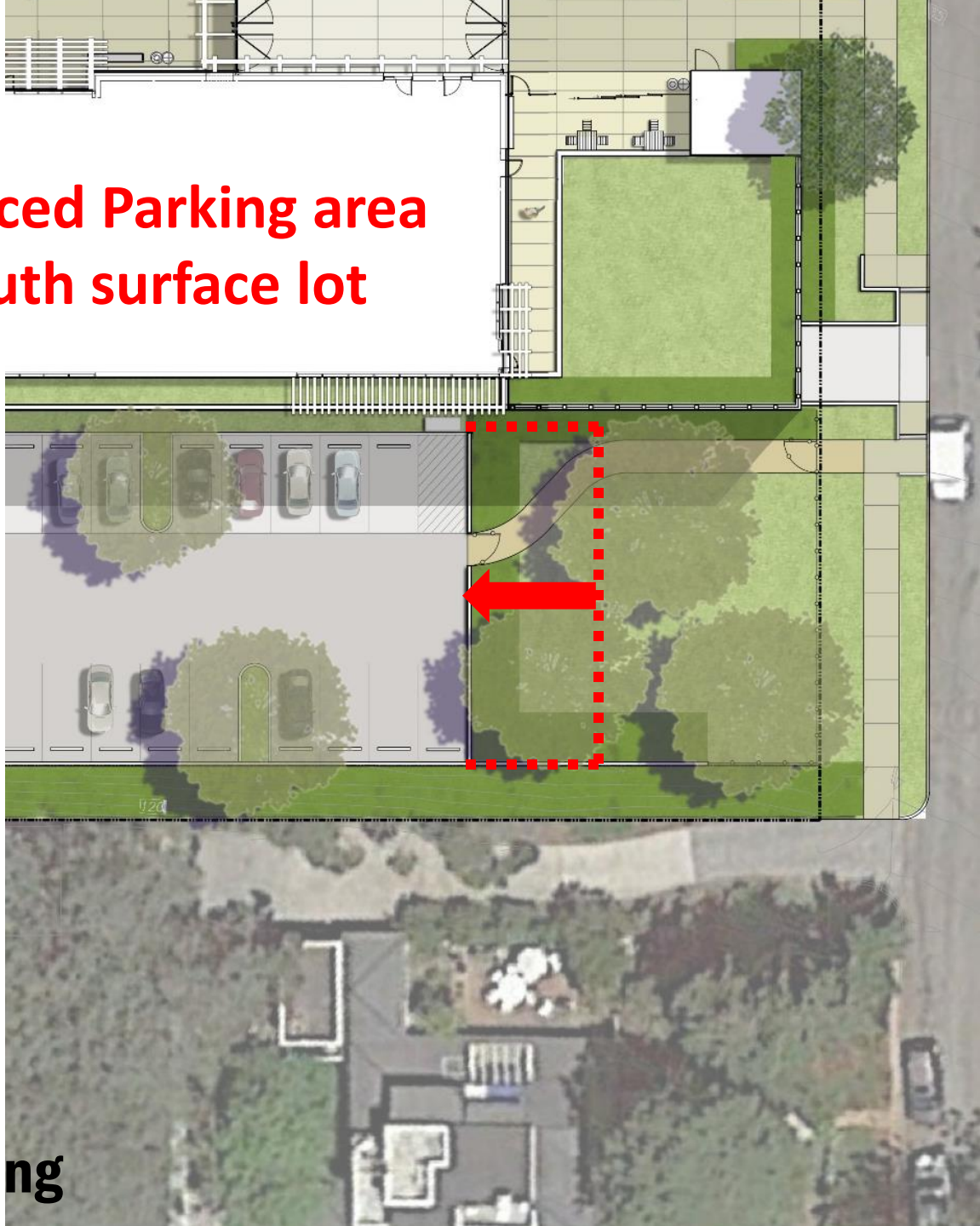
10' HIGH CMU WALL

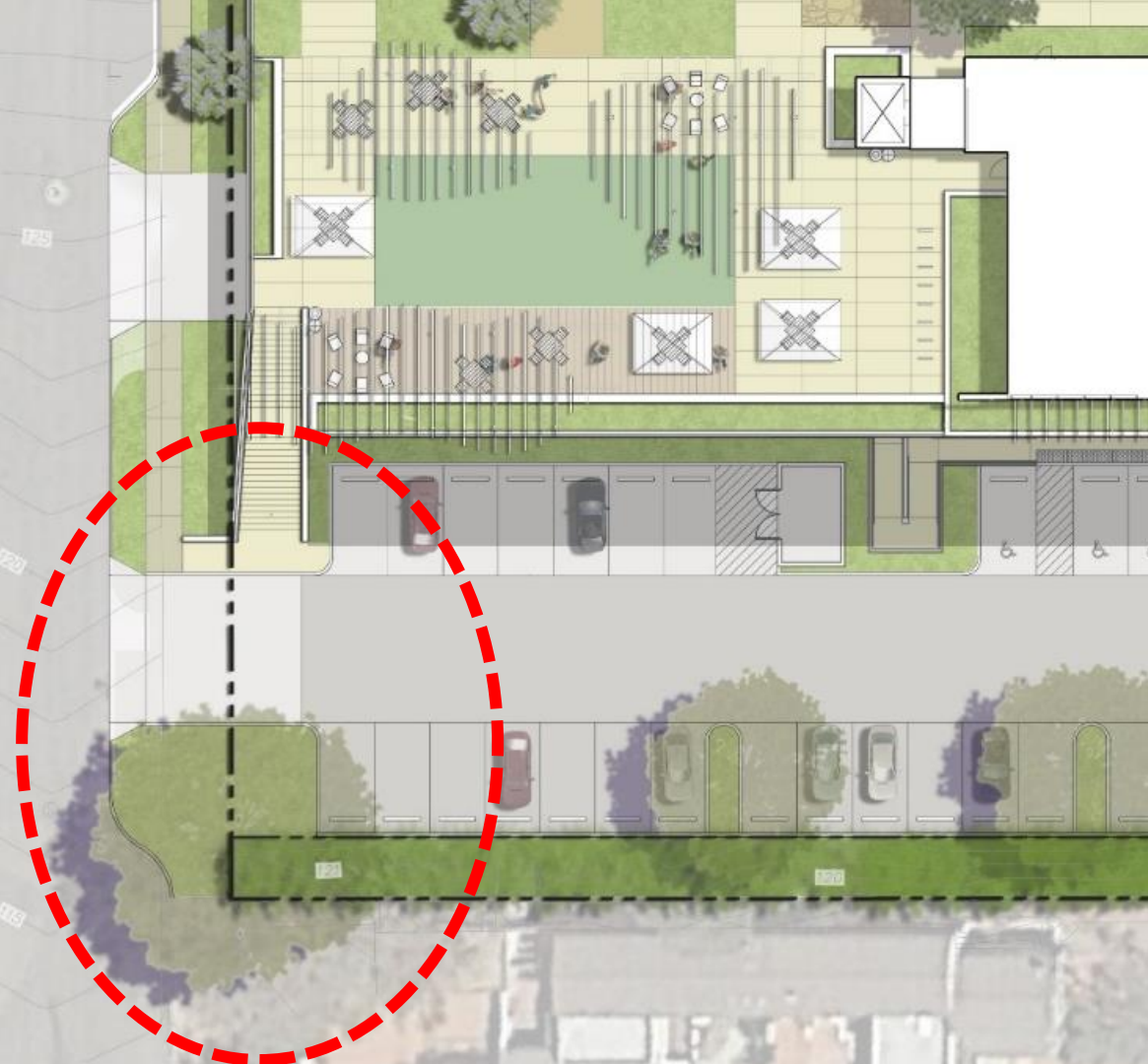
Noise and Glare from Surface Parking Area



Too much area devoted to parking

- **Reduced Parking area at south surface lot**

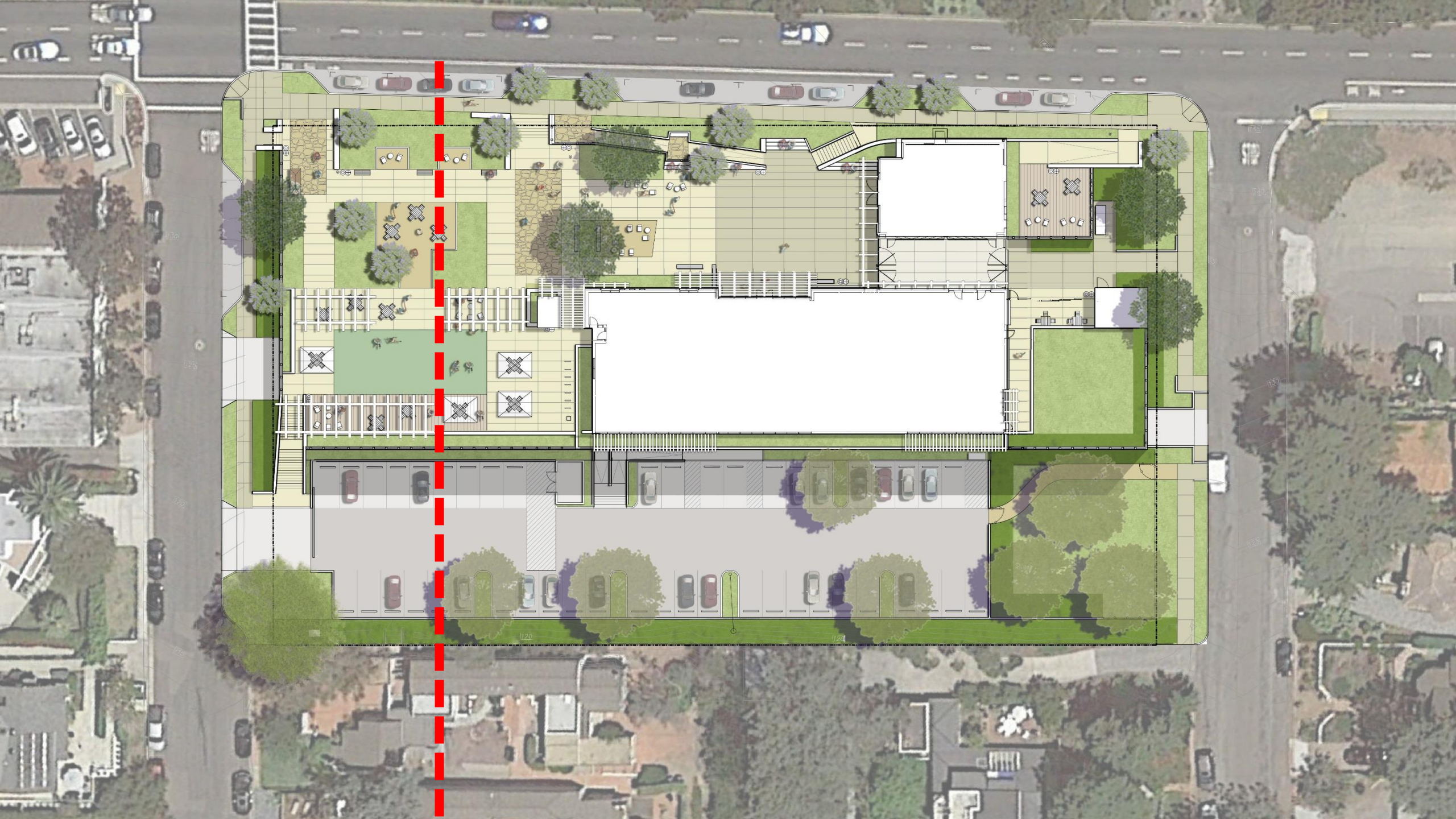


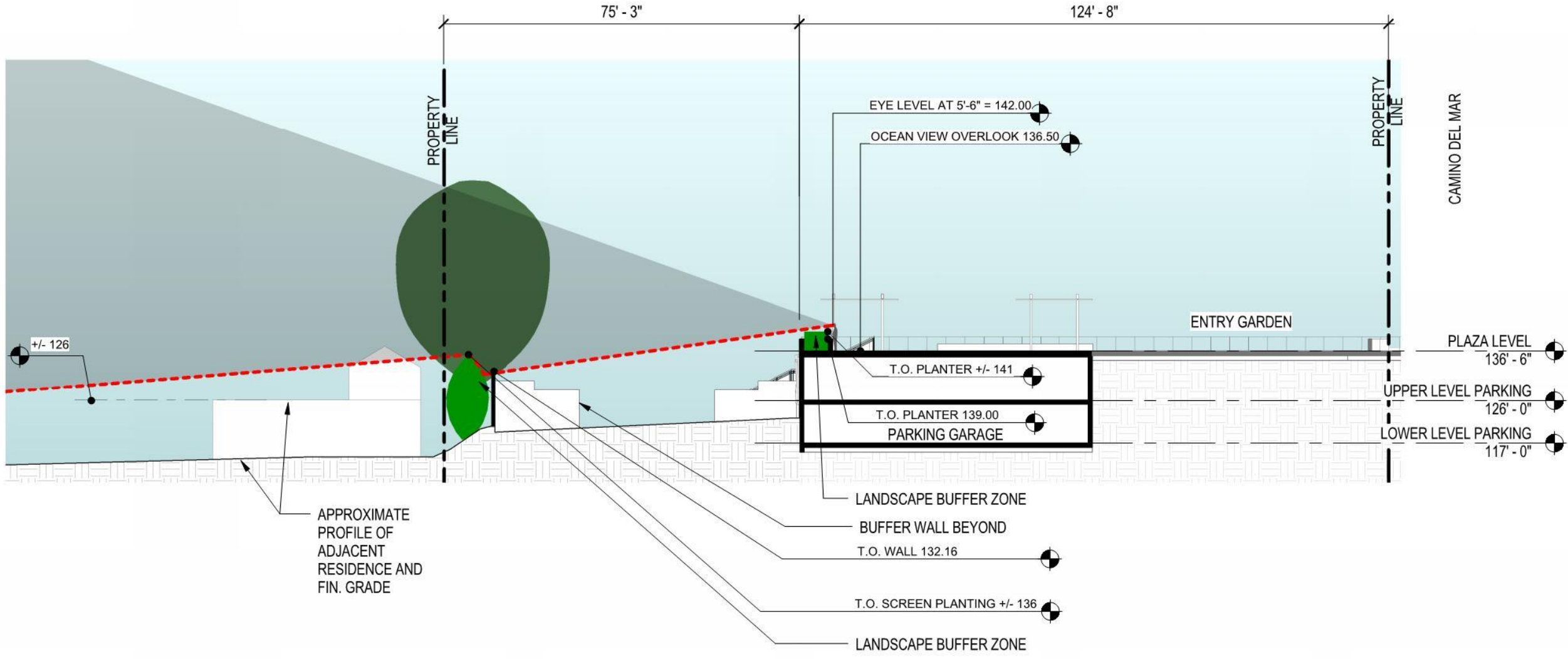


- Remove (1) parking space
- Add E-W screen wall
- Add gate to surface parking



Too much area devoted to parking





APPROXIMATE PROFILE OF ADJACENT RESIDENCE AND FIN. GRADE

EYE LEVEL AT 5'-6" = 142.00

OCEAN VIEW OVERLOOK 136.50

ENTRY GARDEN

T.O. PLANTER +/- 141

T.O. PLANTER 139.00

PARKING GARAGE

PLAZA LEVEL
136' - 6"

UPPER LEVEL PARKING
126' - 0"

LOWER LEVEL PARKING
117' - 0"

LANDSCAPE BUFFER ZONE

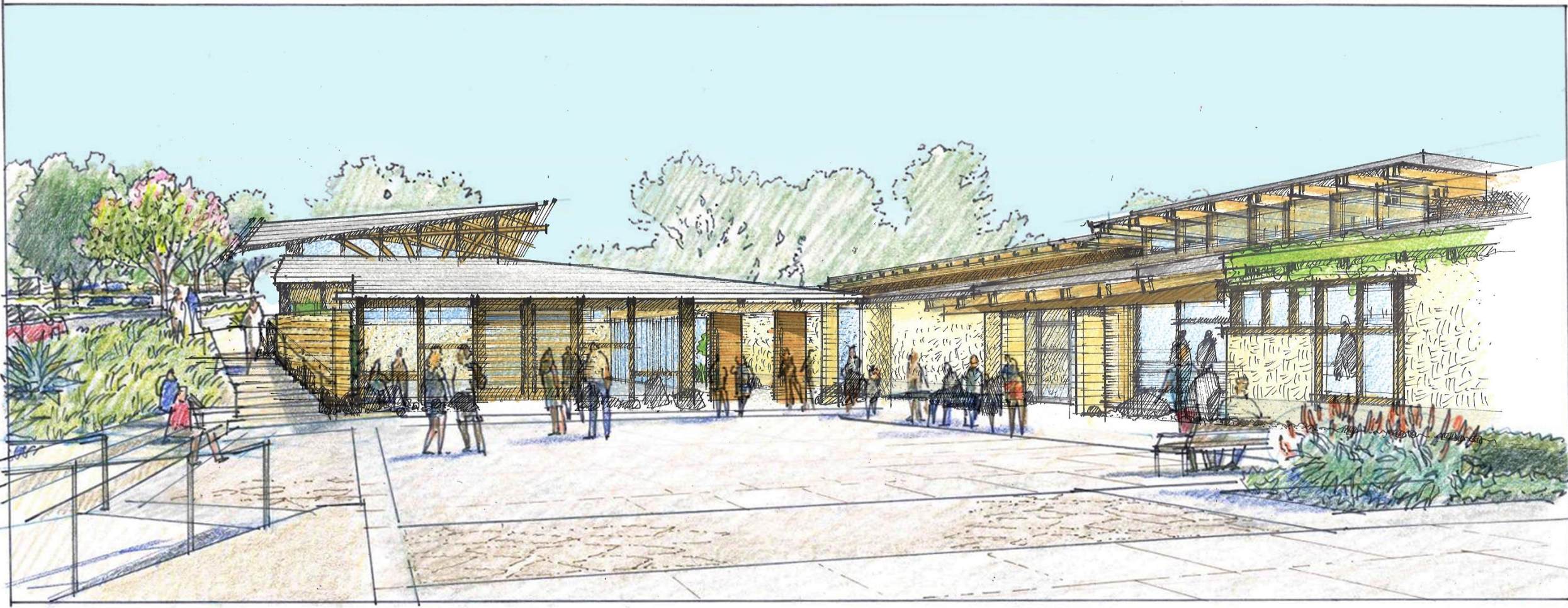
BUFFER WALL BEYOND

T.O. WALL 132.16

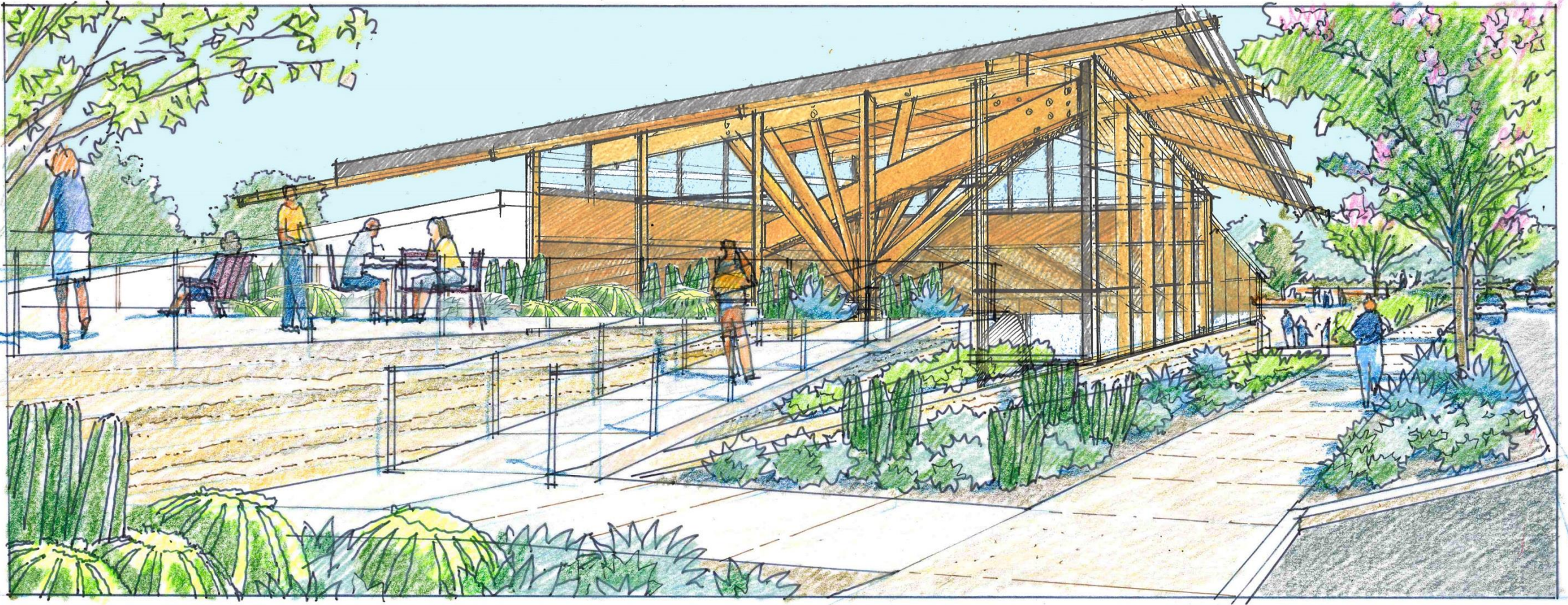
T.O. SCREEN PLANTING +/- 136

LANDSCAPE BUFFER ZONE

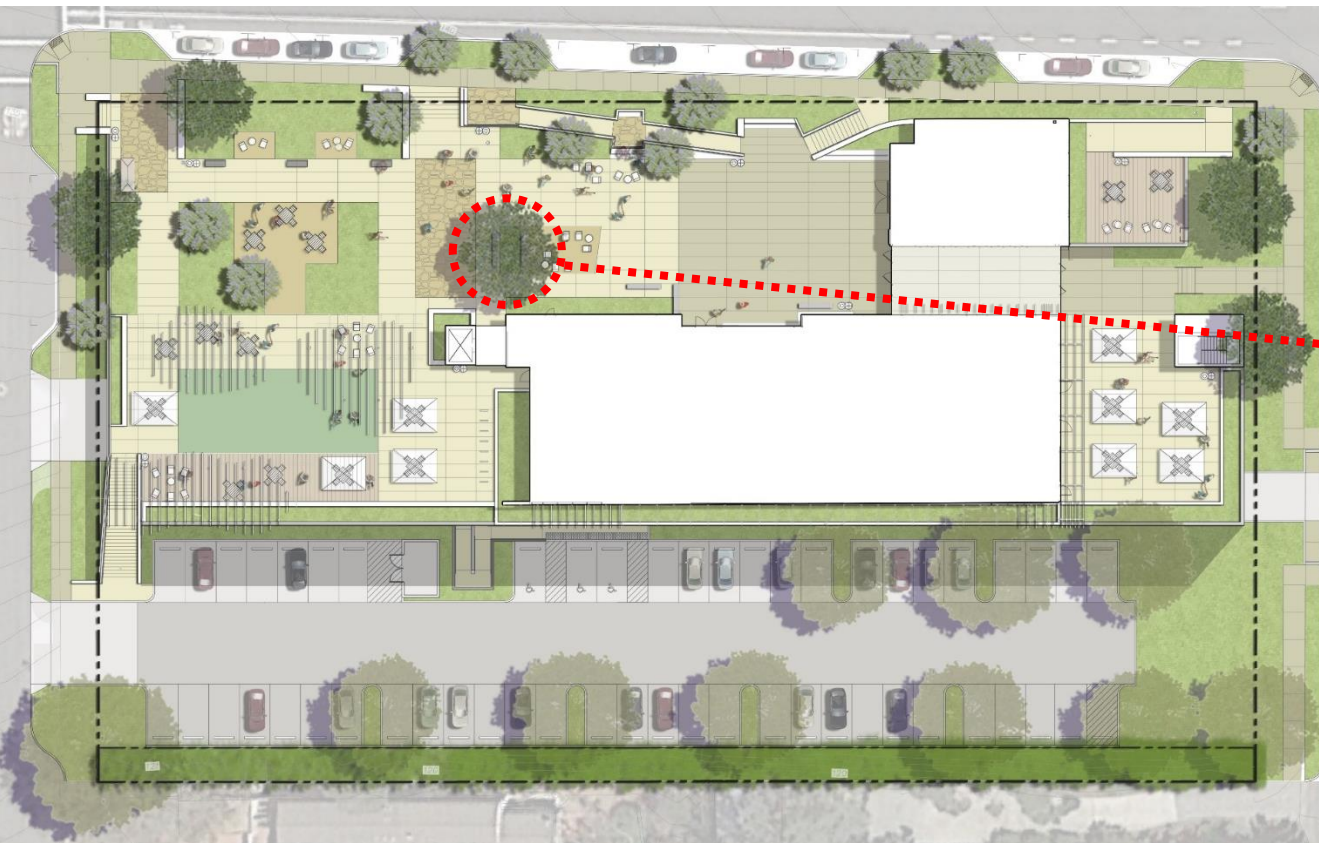


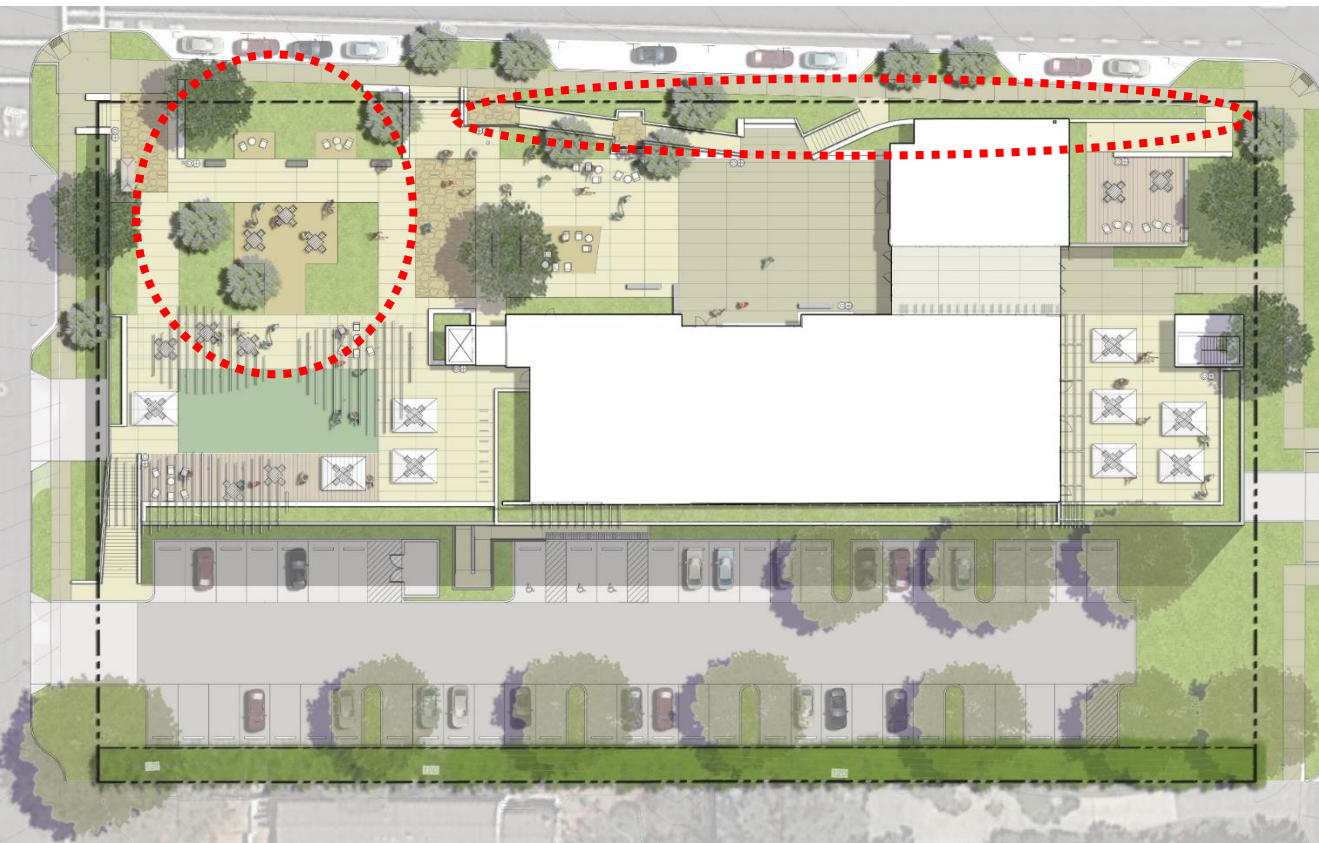






**REFERENCE SLIDES
AS NEEDED FOR Q&A**





ORNAMENTAL



AEONIUM ARBOREUM 'ZWARTKOP'



AGAVE AMERICANA



AGAVE ATTENUATA 'NOVA'



ALOE KEDONGENSIS



ARCTOSTAPHYLOS HOOKERI



ALOE STRIATA



BOUGAINVILLEA SPECIES



DIETES GRANDIFLORA



FRAGARIA CHILOENSIS



HEMEROCALLIS YELLOW



HESPERALOE PARVIFLORA



CEANOTHUS SPECIES



ALOE 'YELLOW TORCH'

ORNAMENTAL



ROSMARNIUS OFFICINALIS 'PROSTRATUS'



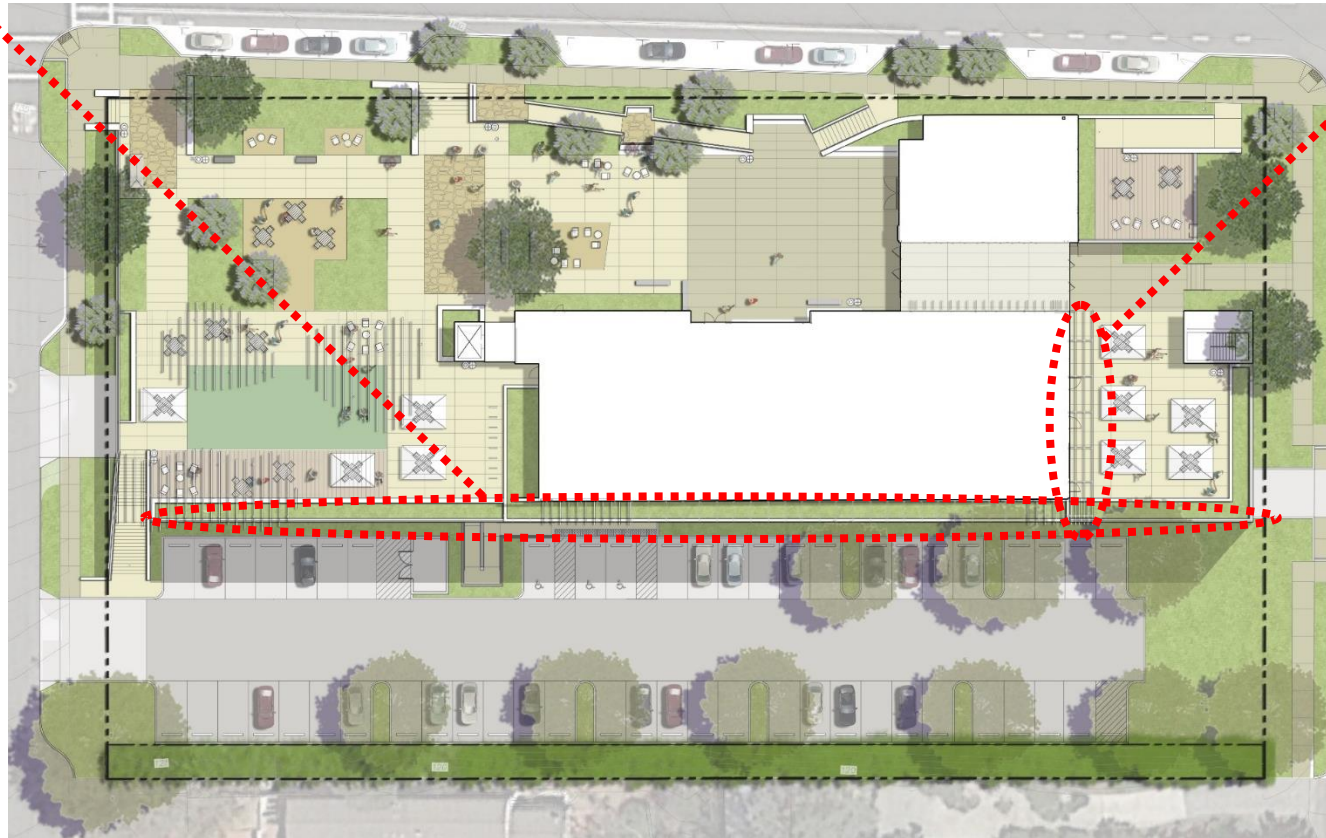
SALVIA SPECIES



SENECIO SERPENS



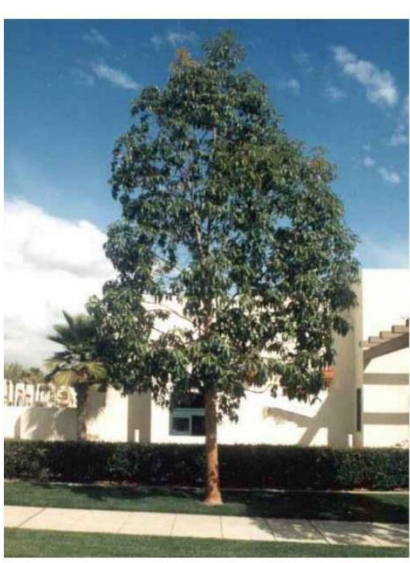
WISTERIA SINENSIS (VINE)



PARKING LOT SHADE TREES



PLATANUS RACEMOSA



TRISTANA CONFERTA

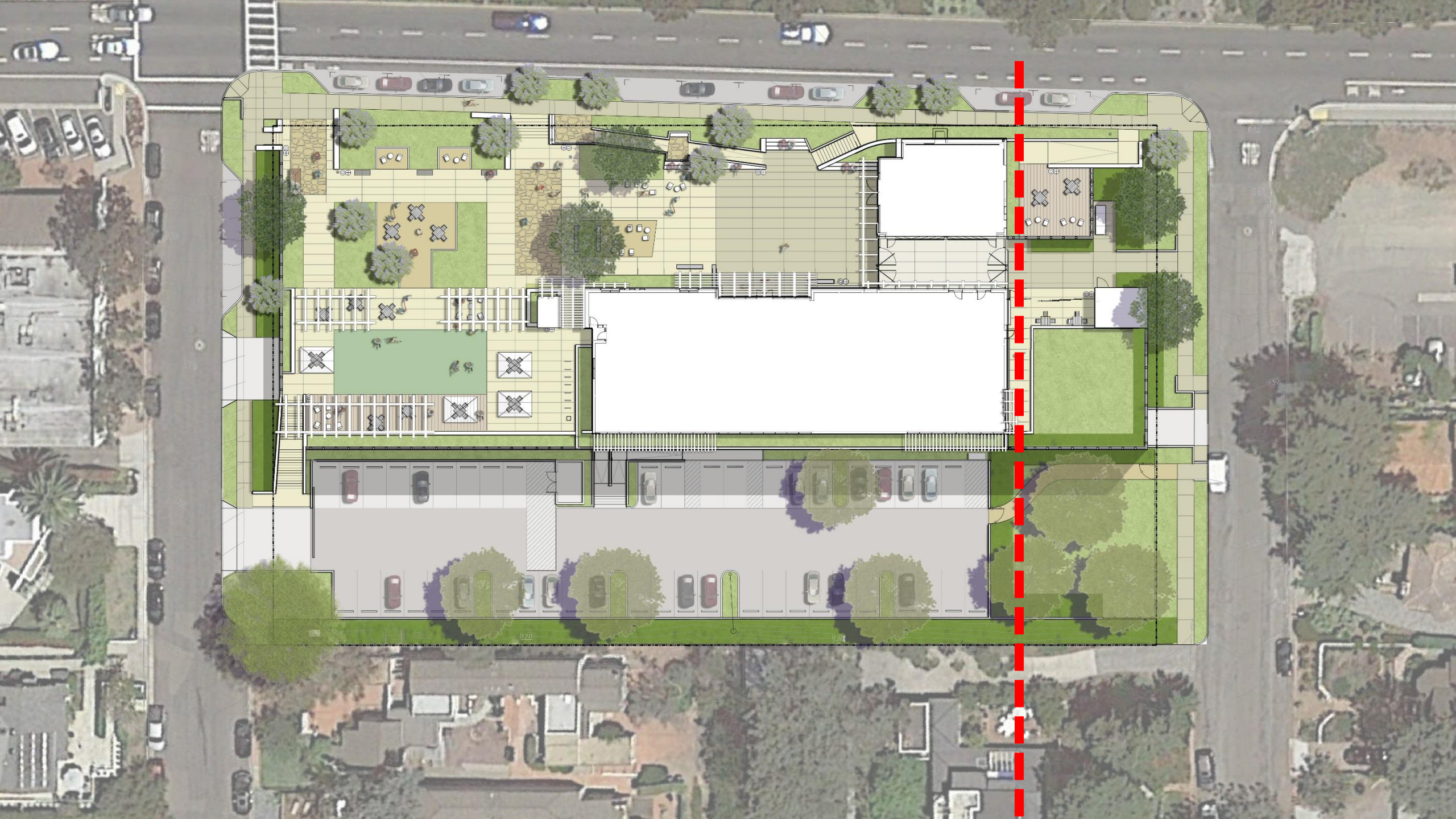


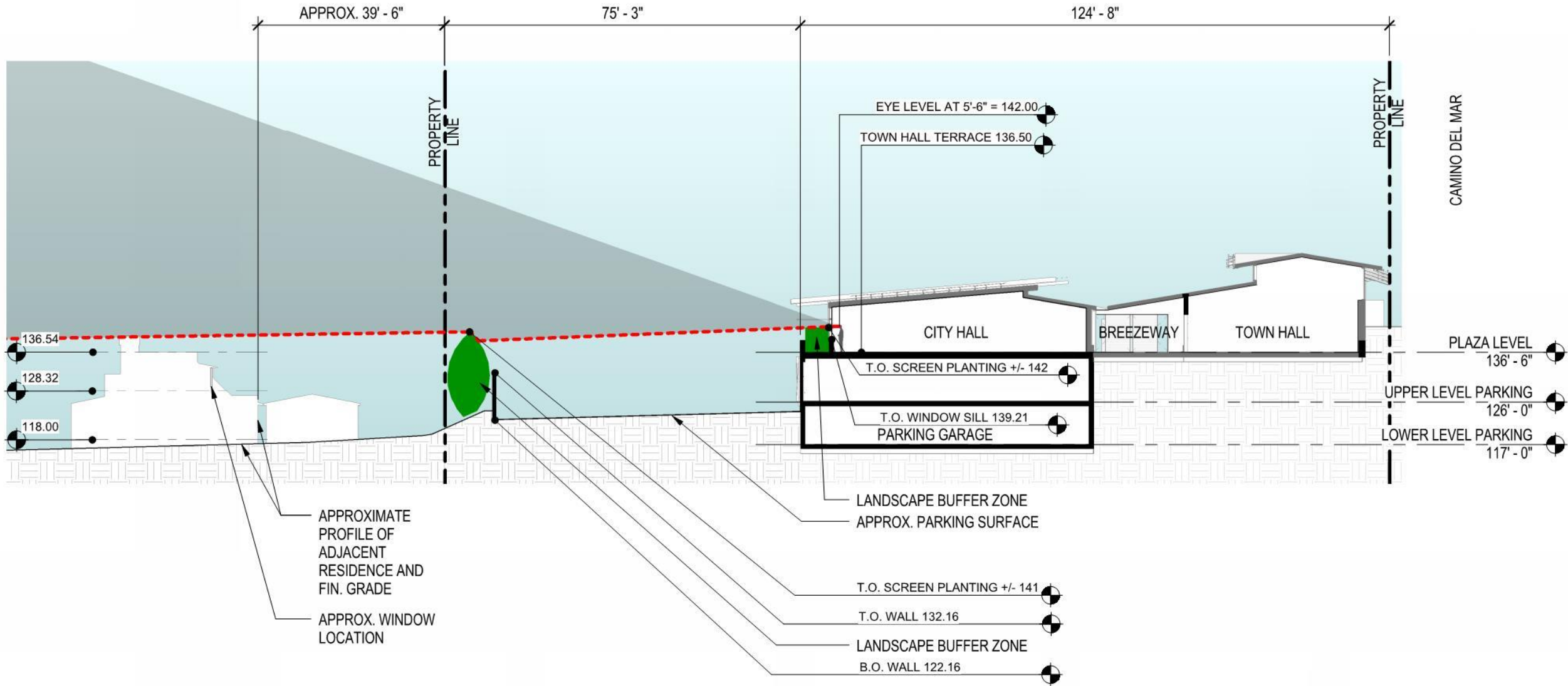
PODOCARPUS MACROPHYLLUS

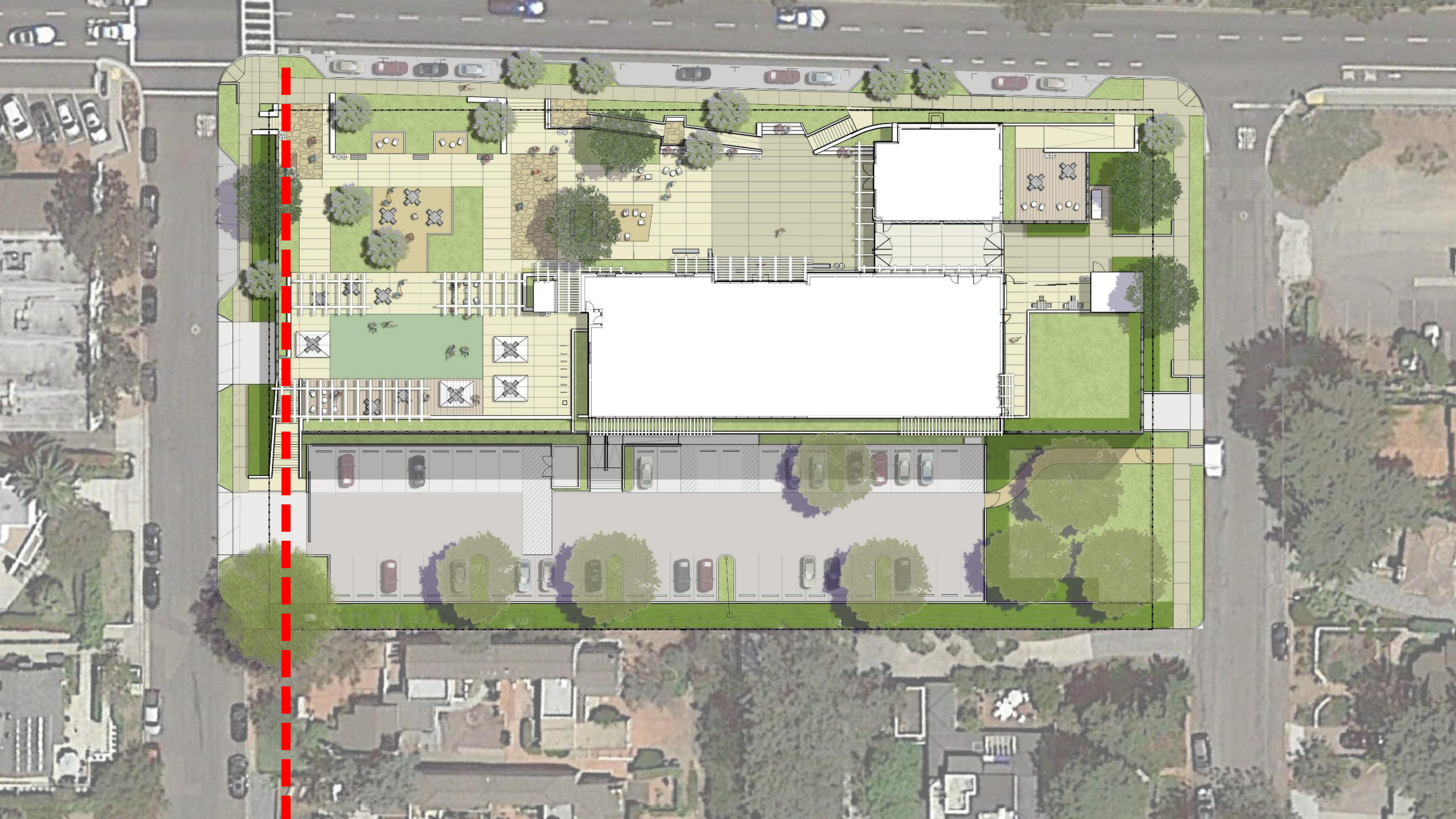


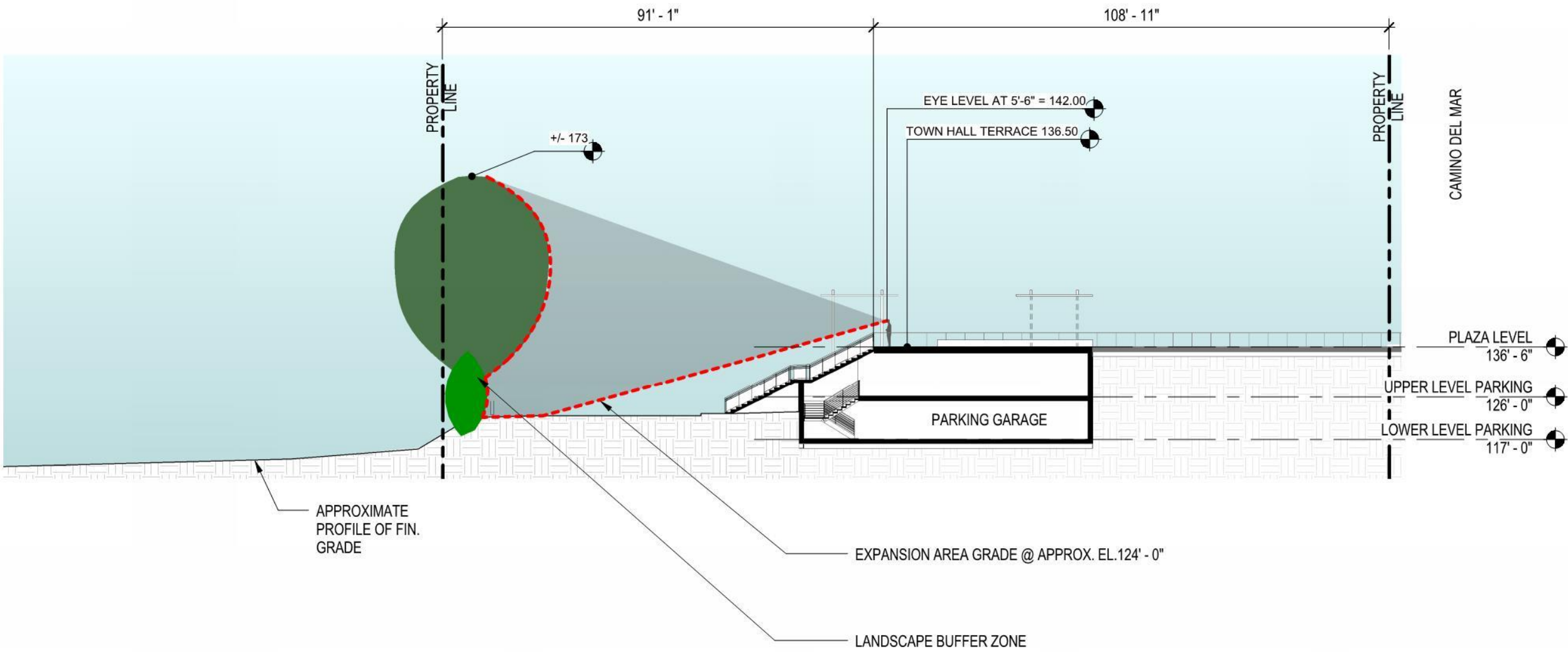
GEIJERA PARVIFLORA













DEL MAR CIVIC CENTER

DEL MAR, CALIFORNIA 92014
DESIGN REVIEW BOARD SUBMITTAL

ENTITLEMENTS
7 DEC 2015



The Miller Hull Partnership, LLP
2150 WEST WASHINGTON STREET SUITE #113 SAN DIEGO, CA 92110



PROJECT TEAM

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1050 Camino Del Mar
Del Mar, CA 92014

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GEOTECHNICAL ENGINEER
SCST ENGINEERING
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Contact: EMIL RUDOLPH

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ELECTRICAL	
E-100	ELECTRICAL SITE PLAN
Grand total: 41	



PROJECT SITE

1 VICINITY PLAN - NOT TO SCALE



MILLER HULL

The Miller Hull Partnership, LLP
Architecture and Planning
2150 West Washington Street, Suite #113
San Diego, California - 92110

DEL MAR CIVIC CENTER
1050 CAMINO DEL MAR | DEL MAR, CALIFORNIA 92014

40% DESIGN DEVELOPEMENT

- PRICING SET -
7 DEC 2015

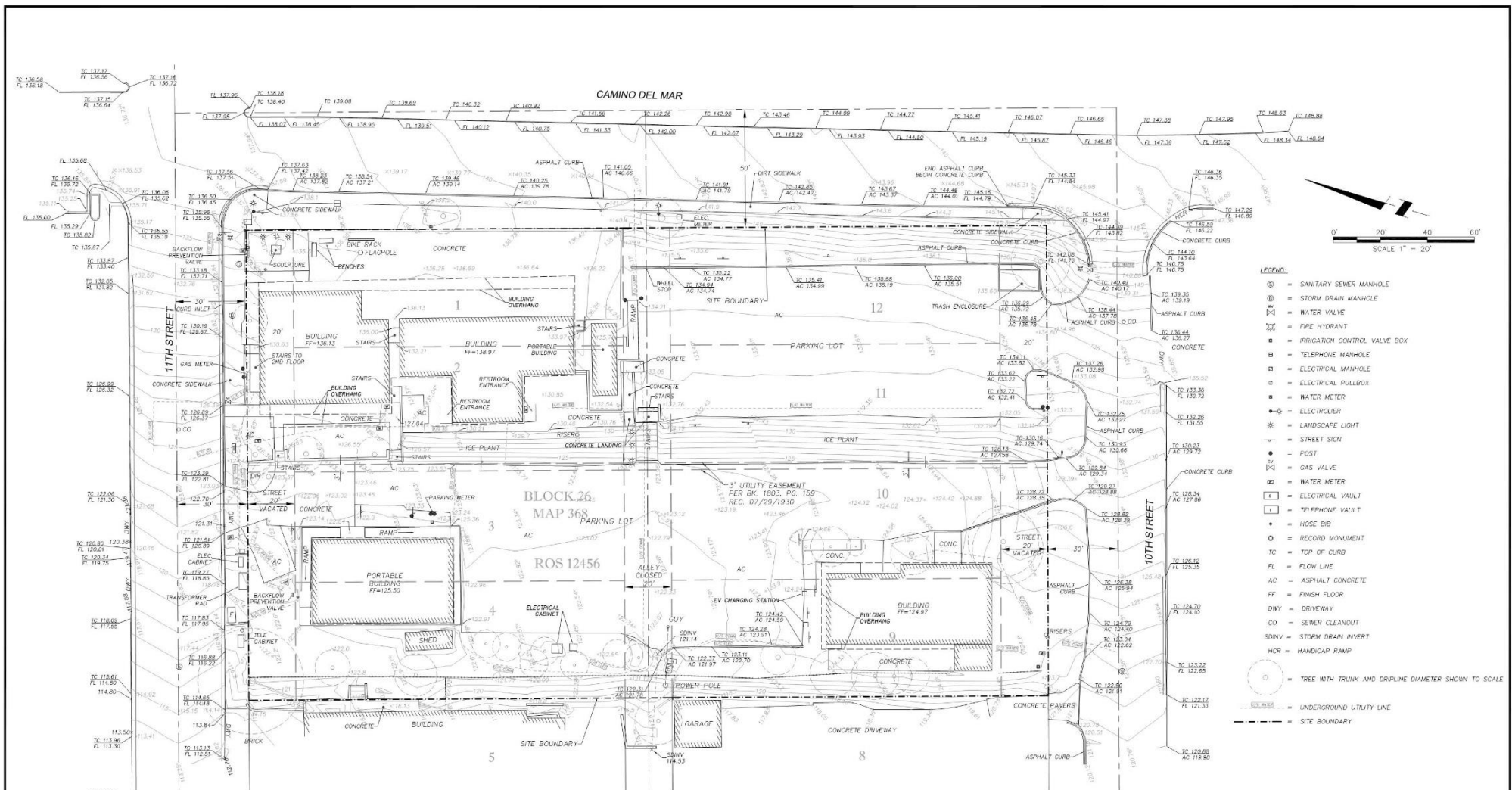
**NOT FOR
CONSTRUCTION**

No. Description Date

Issue Date: 7 DEC 2015
Drawn: JT
Checked: KS
MJH Project No.: 1507

SHEET INDEX G-001

**GENERAL
INFORMATION
G-001**



- LEGEND:**
- ⊙ = SANITARY SEWER MANHOLE
 - ⊕ = STORM DRAIN MANHOLE
 - ⊕ = WATER VALVE
 - ⊕ = FIRE HYDRANT
 - ⊕ = IRRIGATION CONTROL VALVE BOX
 - ⊕ = TELEPHONE MANHOLE
 - ⊕ = ELECTRICAL MANHOLE
 - ⊕ = ELECTRICAL PULLBOX
 - ⊕ = WATER METER
 - ⊕ = ELECTROLUX
 - ⊕ = LANDSCAPE LIGHT
 - ⊕ = STREET SIGN
 - ⊕ = POST
 - ⊕ = GAS VALVE
 - ⊕ = WATER METER
 - ⊕ = ELECTRICAL VAULT
 - ⊕ = TELEPHONE VAULT
 - ⊕ = HOSE BIB
 - ⊕ = RECORD MONUMENT
 - ⊕ = SEWER CLEANOUT
 - ⊕ = STORM DRAIN INVERT
 - ⊕ = HANDICAP RAMP
 - ⊕ = TREE WITH TRUNK AND DIAPHRAGM SHOWN TO SCALE
 - ⊕ = UNDERGROUND UTILITY LINE
 - ⊕ = SITE BOUNDARY

BASIS OF BEARING:
 THE BASIS OF COORDINATES AND BEARINGS FOR THE SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (EPDM) 207.0 ZONE 6 BASED UPON CITY OF DEL MAR HORIZONTAL CONTROL STATIONS: 0024 SAM 0026 SURF

BENCHMARK:
 STATION SERIAL NUMBER - 0032 DESIGNATION - CURRY HORIZONTAL DATUM - NAD83 PLANE COORDINATES CCS 83, ZONE 6 NORTHING (Y) 1,928,531.12 U.S. FEET EASTING (X) 6,250,872.78 U.S. FEET VERTICAL DATUM - NSVD29 ELEVATION - 148.75 FEET MONUMENT TYPE - 2 1/2 INCH BRASS DISK SET IN TOP OF CURB INLET

NOTES:
 SURVEYED BY TOWILL BETWEEN DECEMBER 22, 2014 AND FEBRUARY 11, 2015.

PRELIMINARY - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1" = 20'	DESIGNED:	DRAWN: RBY	CHECKED: DJM
PROJECT NO. 14616-102	ENGINEER OF WORK:	R.C.E. NO.	DATE



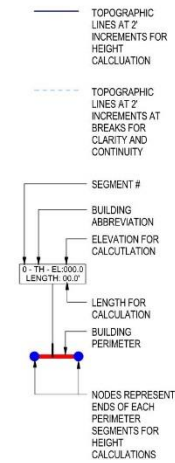
APPROVED	DATE
PUBLIC WORKS DIRECTOR	

CITY OF DEL MAR
 TOPOGRAPHIC SURVEY
 OF
 DEL MAR CITY HALL SITE

SHEET
 1 OF 1 SHEETS

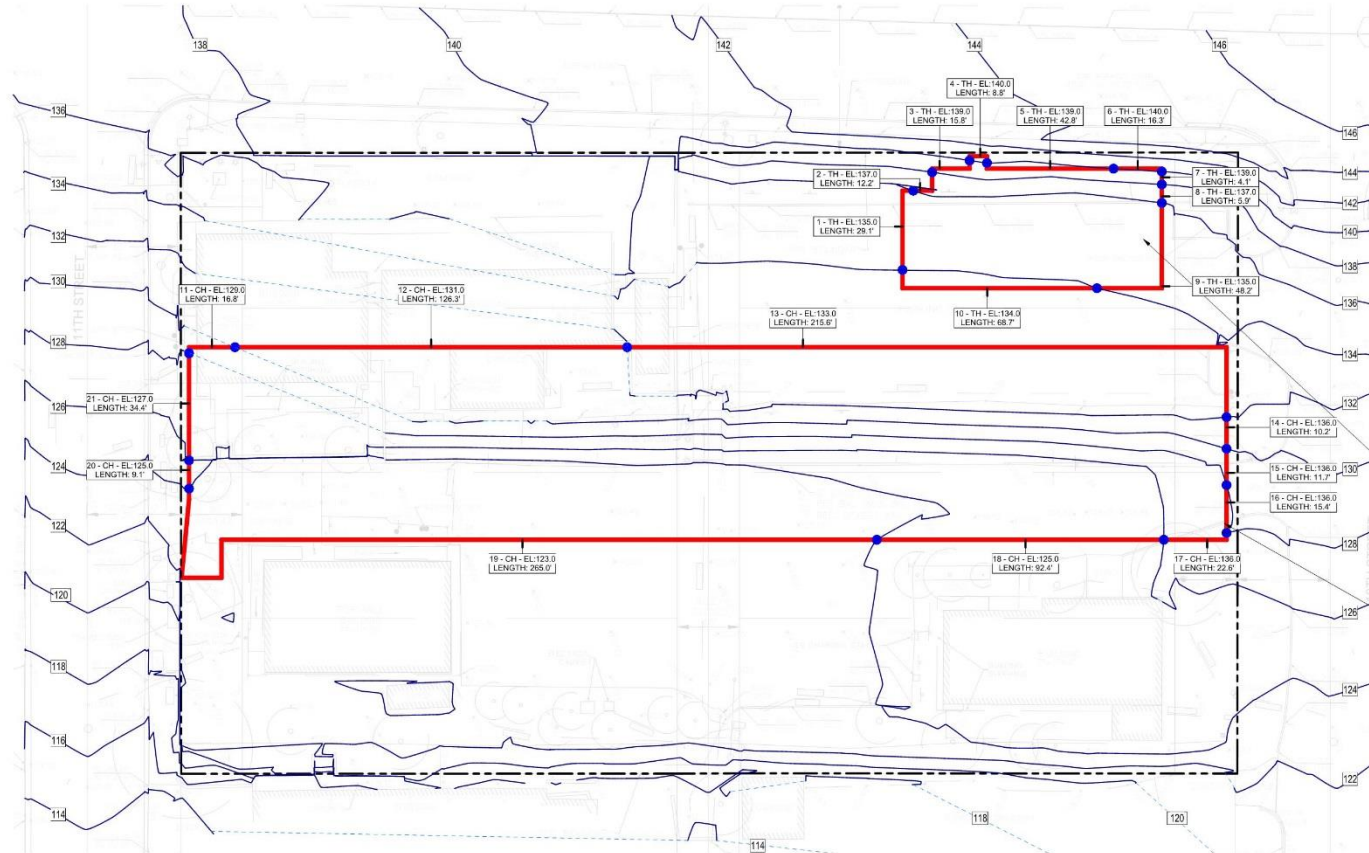
ORIGINAL SCALE: 1" = 20'

**AAG PLAN
 LEGEND**



TOWN HALL (TH)
 PERIMTER

CITY HALL (CH)
 PERIMETER



1 PLAZA LEVEL - FLOOR PLAN
 1" = 20'-0"

CITY HALL (CH) AVERAGE ADJOINING GRADE (AAG) CALCULATIONS

Average Adjoining Grade (AAG) CH			
SEGMENT #	AVERAGE ELEVATION (AE)	WALL LENGTH (WL)	PRODUCT OF WL x AE
11	129.0	16.8'	2167.9'
12	131.0	126.3'	16540.1'
13	133.0	215.6'	28677.9'
14	136.0	10.2'	1385.4'
15	136.0	11.7'	1591.8'
16	136.0	15.4'	2094.4'
17	136.0	22.6'	3068.4'
18	125.0	92.4'	11547.0'
19	123.0	265.0'	32600.9'
20	125.0	9.1'	1137.0'
21	127.0	34.4'	4373.2'
Grand total: 11		819.5'	105184.0'

AAG CH = 105,184.0/819.5' = 128.4
CH HEIGHT LIMIT = 128.4' + 26' = 154.4'

TOWN HALL (TH) AVERAGE ADJOINING GRADE (AAG) CALCULATIONS

Average Adjoining Grade (AAG) TH			
SEGMENT #	AVERAGE ELEVATION (AE)	WALL LENGTH (WL)	PRODUCT OF WL x AE
1	135.0	29.1'	3931.1'
2	137.0	12.2'	1671.0'
3	139.0	15.8'	2199.9'
4	140.0	8.8'	1230.3'
5	139.0	42.8'	5946.2'
6	140.0	16.3'	2285.3'
7	139.0	4.1'	575.8'
8	137.0	5.9'	814.3'
9	135.0	48.2'	6504.6'
10	134.0	68.7'	9199.4'
Grand total: 10		252.0'	34357.9'

AAG TH = 34,357.9' / 252.0' = 136.3'
TH HEIGHT LIMIT = 136.3 + 26 = 162.3'

DEL MAR CIVIC CENTER
 1050 CAMINO DEL MAR | DEL MAR, CALIFORNIA 92014
DESIGN REVIEW BOARD SUBMITTAL
 - ENTITLEMENTS -
 7 DEC 2015

NOT FOR CONSTRUCTION

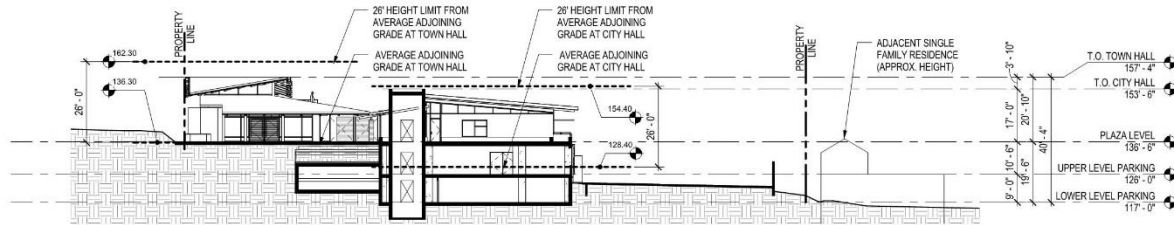
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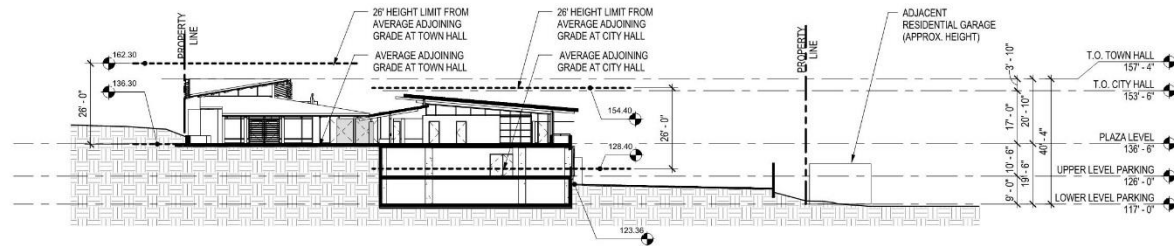
SHEET INDEX G-01

**AAG PLAN
 DIAGRAM AND
 CALCULATIONS
 G-041**

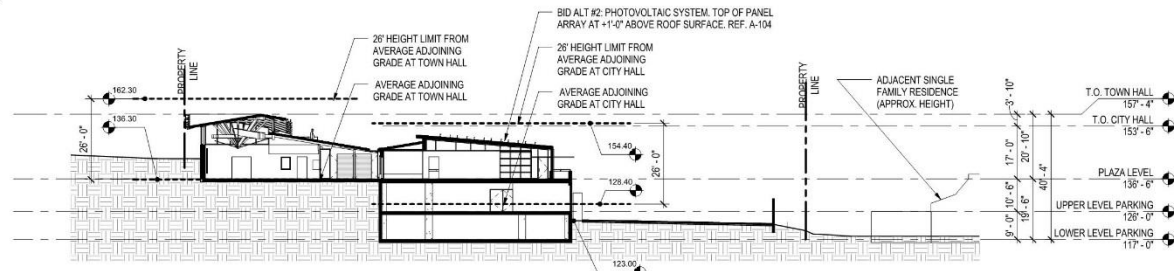
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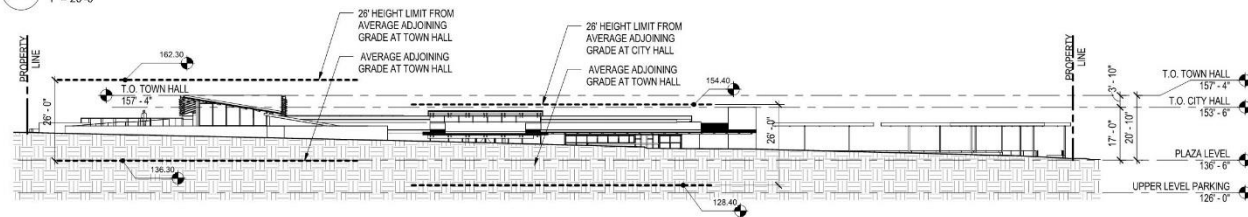
1 AAG SECTION EW - THROUGH CITY HALL ELEVATOR
 1" = 20'-0"



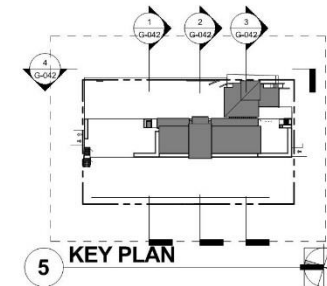
2 AAG SECTION EW - THROUGH CITY HALL LOBBY
 1" = 20'-0"



3 AAG SECTION EW - THROUGH TOWN HALL / BREEZEWAY / CITY HALL
 1" = 20'-0"



4 AAG SECTION NS - CAMINO DEL MAR (CURB LINE ALONG EAST PROPERTY LINE)
 1" = 20'-0"



5 KEY PLAN

HEIGHT DIAGRAM NOTES

1. FOR THE AVERAGE ADJOINING GRADE CALCULATIONS DETERMINING SHOWN HEIGHT RESTRICTIONS REF: G-041
2. THIS SHEET IS TO DEMONSTRATE ONLY THE AVERAGE ADJOINING GRADE HEIGHT RESTRICTION. FOR INFORMATION ON ALL OTHER HEIGHT RESTRICTIONS REF: G-043.
3. ADJACENT PROPERTY STRUCTURE HEIGHTS SHOWN ARE APPROXIMATE.

DEL MAR CIVIC CENTER
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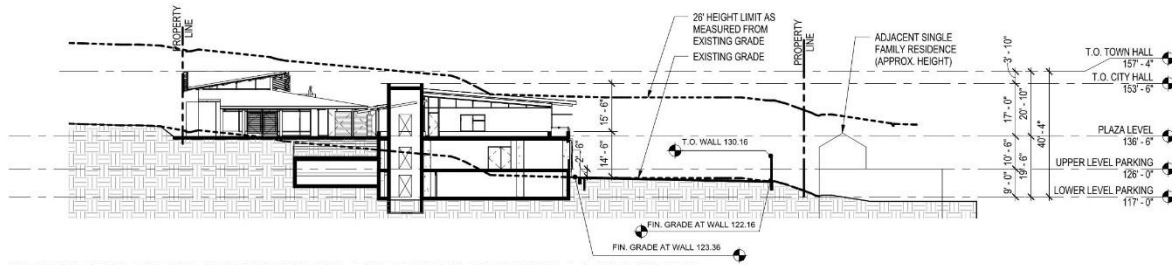
DESIGN REVIEW BOARD SUBMITTAL
 - ENTITLEMENTS -
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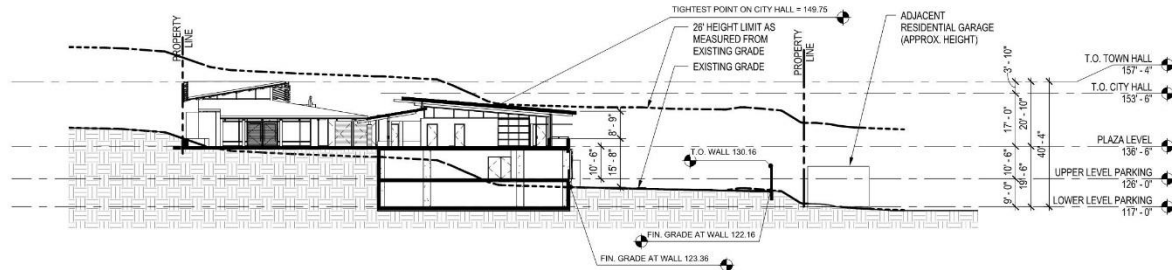
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 SHEET INDEX G-001

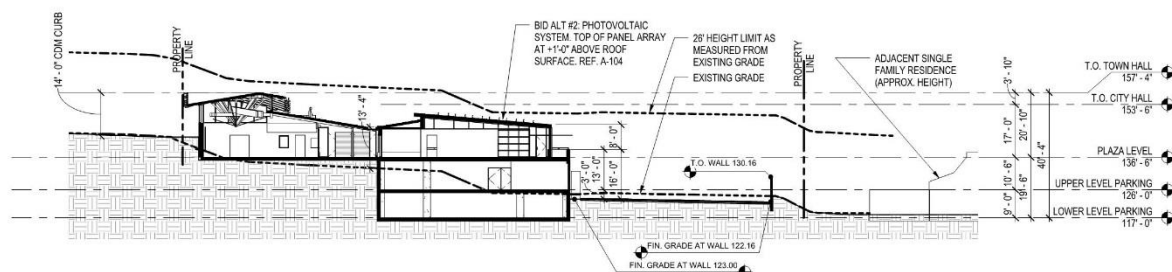
AAG BUILDING
 HEIGHT
 DIAGRAMS
G-042



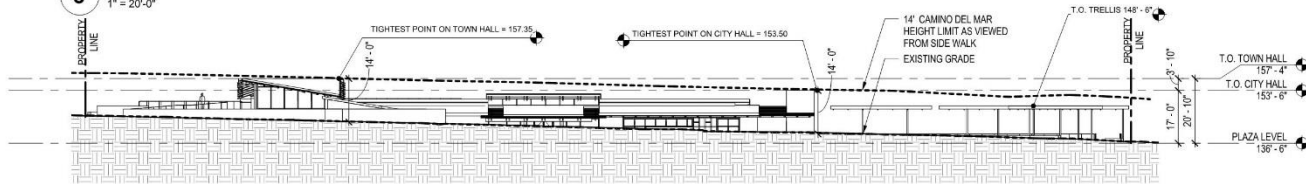
1 HEIGHT DIAGRAM SECTION EW - THROUGH CITY HALL ELEVATOR
 1" = 20'-0"



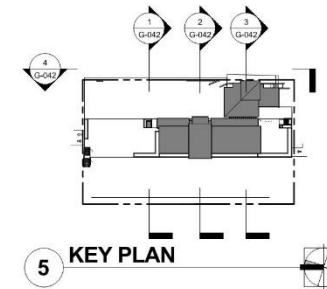
2 HEIGHT DIAGRAM SECTION EW - THROUGH CITY HALL LOBBY
 1" = 20'-0"



3 HEIGHT DIAGRAM SECTION EW - THROUGH TOWN HALL / BREEZEWAY / CITY HALL
 1" = 20'-0"



4 HEIGHT DIAGRAM SECTION NS - CAMINO DEL MAR (CURB LINE ALONG EAST PROPERTY LINE)
 1" = 20'-0"



5 KEY PLAN

HEIGHT DIAGRAM NOTES

1. THIS SHEET DEMONSTRATES COMPLIANCE FOR (1) MEASURING HEIGHT FROM ADJOINING GRADE TO HIGHEST PART OF THE ROOF IMMEDIATELY ABOVE, AND (2) FROM ANY POINT OF THE ROOF TO NATURAL/EXISTING GRADE DIRECTLY BELOW.
2. FOR AVERAGE ADJOINING GRADE MEASUREMENTS, REF: G-041 & G-042.

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BUILDING HEIGHT DIAGRAMS
G-043

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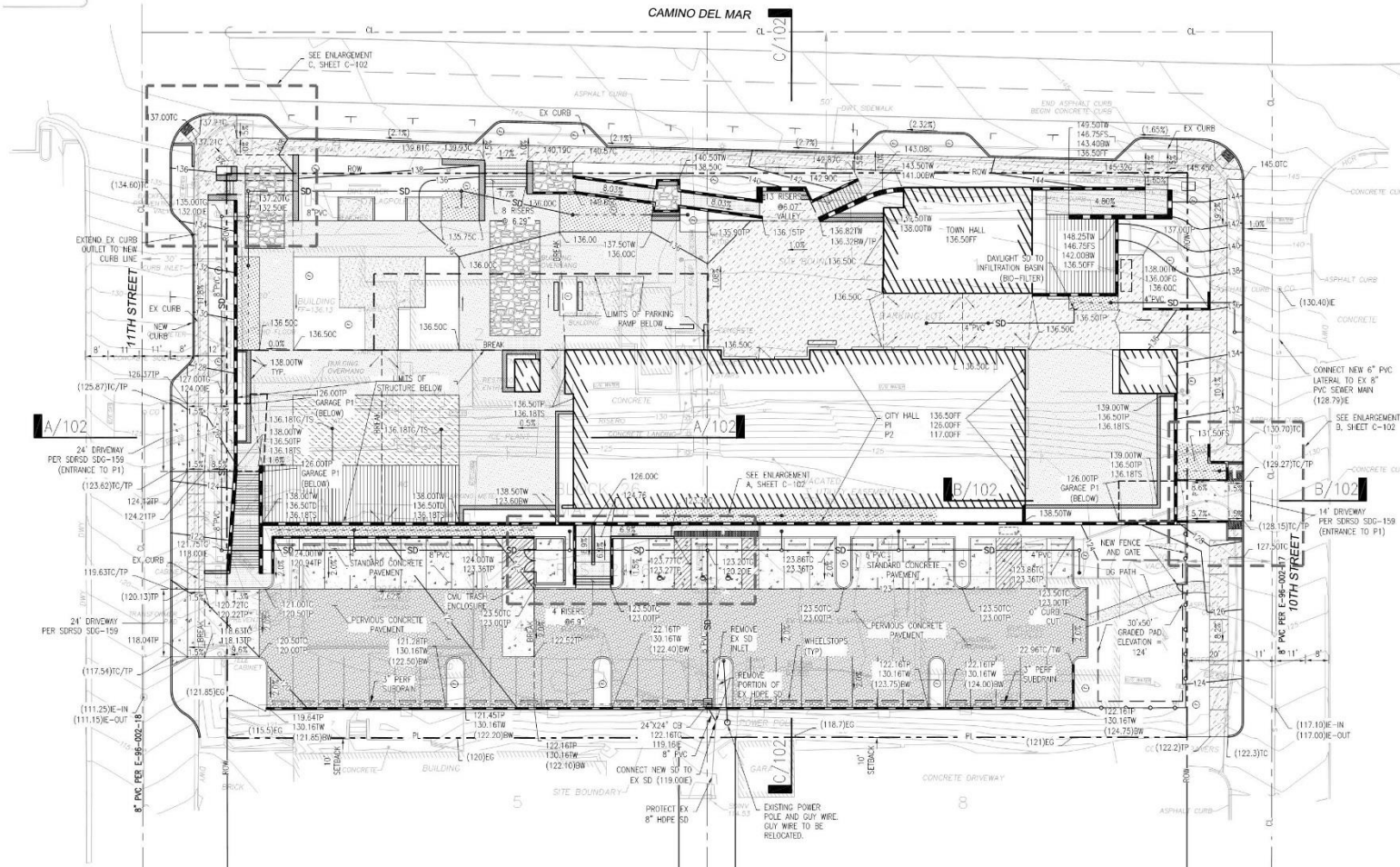
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GRADING & IMPROVEMENT PLAN C-101



GRADING LEGEND

PERVIOUS CONCRETE PAVING		LIMITS OF PROPOSED BUILDINGS	
STANDARD CONCRETE PAVING		PROPOSED STORM DRAIN LINE	
CONCRETE PAVING W/ INTEGRAL COLOR		STORM DRAIN AREA DRAIN/CATCH BASIN/CLEANOUT (WITH BMP STORM DRAIN STENCILING)	
SYNTHETIC TURF		PROPOSED STORM DRAIN SUB-DRAIN (4" PERF. PVC)	
FLAGSTONE PAVING		RETAINING WALL	
DECOMPOSED GRANITE PAVING		SEAT WALL	
CONCRETE PAVING, EXPOSED AGG FINISH		GRADE BREAK	
INFILTRATION BASIN (BIO-FILTER)		LIMIT OF PARKING STRUCTURE BELOW	
SPOT ELEVATIONS	122.66C 122.16P (122.14)		

ABBREVIATIONS

TOP OF DECK	TD
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF SLAB	TS
TOP OF CURB	TC
FINISHED SURFACE	FS
CONCRETE	C
TOP OF PAVING	TP

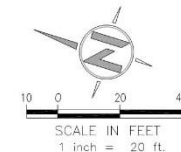
GENERAL NOTES

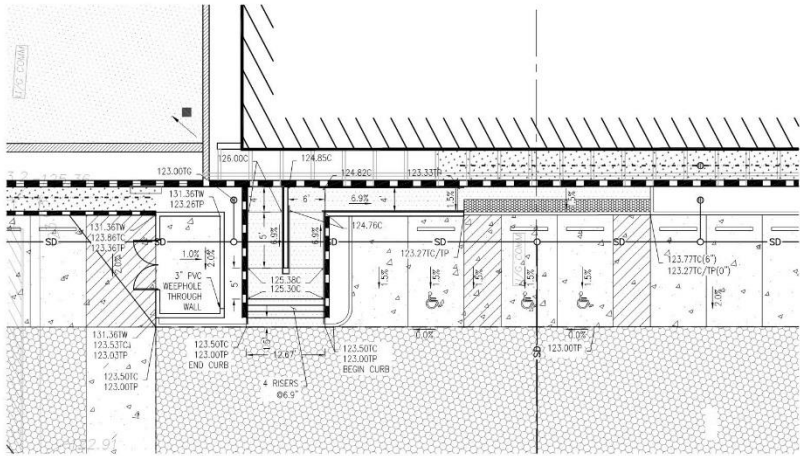
1. AN ADDITIONAL PERMIT IS REQUIRED BY THE CITY OF DEL MAR, PUBLIC WORKS DEPARTMENT FOR THE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY; SUCH AS FOR DRIVEWAY, SIDEWALKS, ETC.
2. SOIL REMOVED FROM SITE AND PLACED WITHIN THE CITY OF DEL MAR REQUIRES ADDITIONAL GRADING OR LAND CONSERVATION PERMITS. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE A VALID CITY OF DEL MAR BUSINESS LICENSE PRIOR TO THE PERFORMANCE OF ANY WORK (ORD. #234).
3. NO GRADING SHALL OCCUR OUTSIDE THE LIMITS OF THE APPROVED GRADING PLAN UNLESS PRIOR WRITTEN AUTHORIZATION IS OBTAINED FROM THE CITY AND THE OWNERS OF ANY OTHER AFFECTED PROPERTIES.
4. SEE SHEET C-301 FOR WET UTILITIES (DOMESTIC WATER, FIRE WATER, SANITARY SEWER).
5. ALL SITE RETAINING WALL SUBDRAINS WILL DISCHARGE THROUGH THE FACE OF WALL AT REGULAR INTERVALS.

GRADING QUANTITIES

GRADED AREA	1.28 [ACRES]	MAX. CUT DEPTH 16.1 [FT]
CUT QUANTITIES	10,215 [CYD]	MAX. CUT SLOPE RATIO 2:1
FILL QUANTITIES	1,612 [CYD]	MAX. FILL DEPTH 7.8 [FT]
IMPORT/EXPORT	9,202 [CYD]	MAX. FILL SLOPE RATIO 2:1

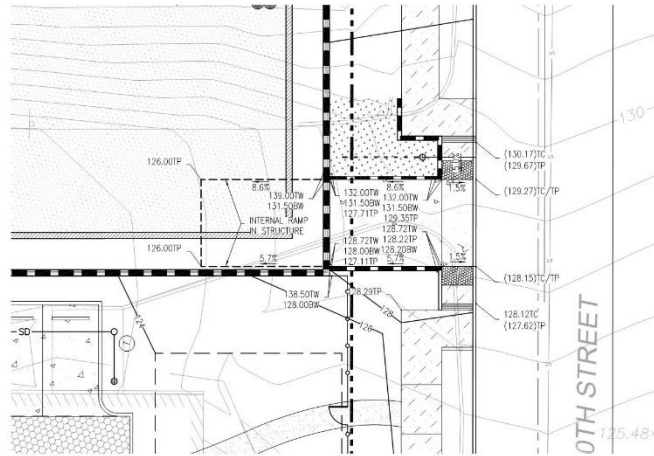
THIS PROJECT PROPOSES TO EXPORT 9,202 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.





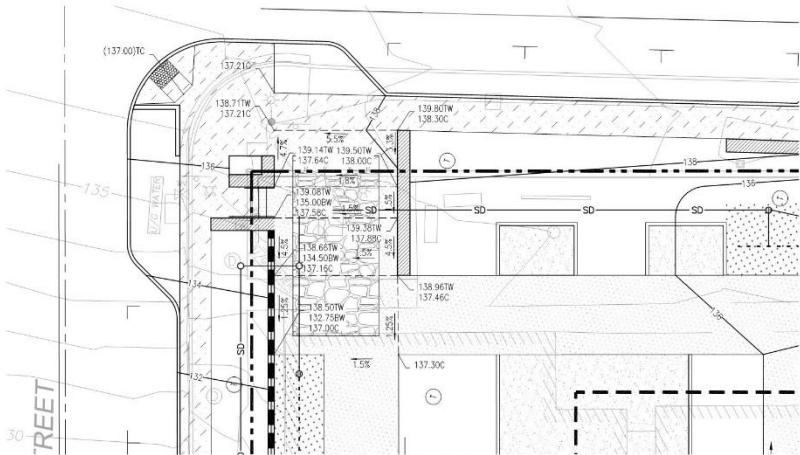
ENLARGEMENT A: ADA PARKING/ACCESSIBLE RAMP TO P1

SCALE: 1"=10'



ENLARGEMENT B: 10th STREET PARKING GARAGE DRIVEWAY

SCALE: 1"=10'



ENLARGEMENT C: CORNER OF 11TH AND CAMINO DEL MAR

SCALE: 1"=10'

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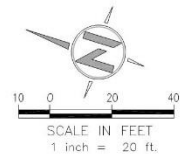
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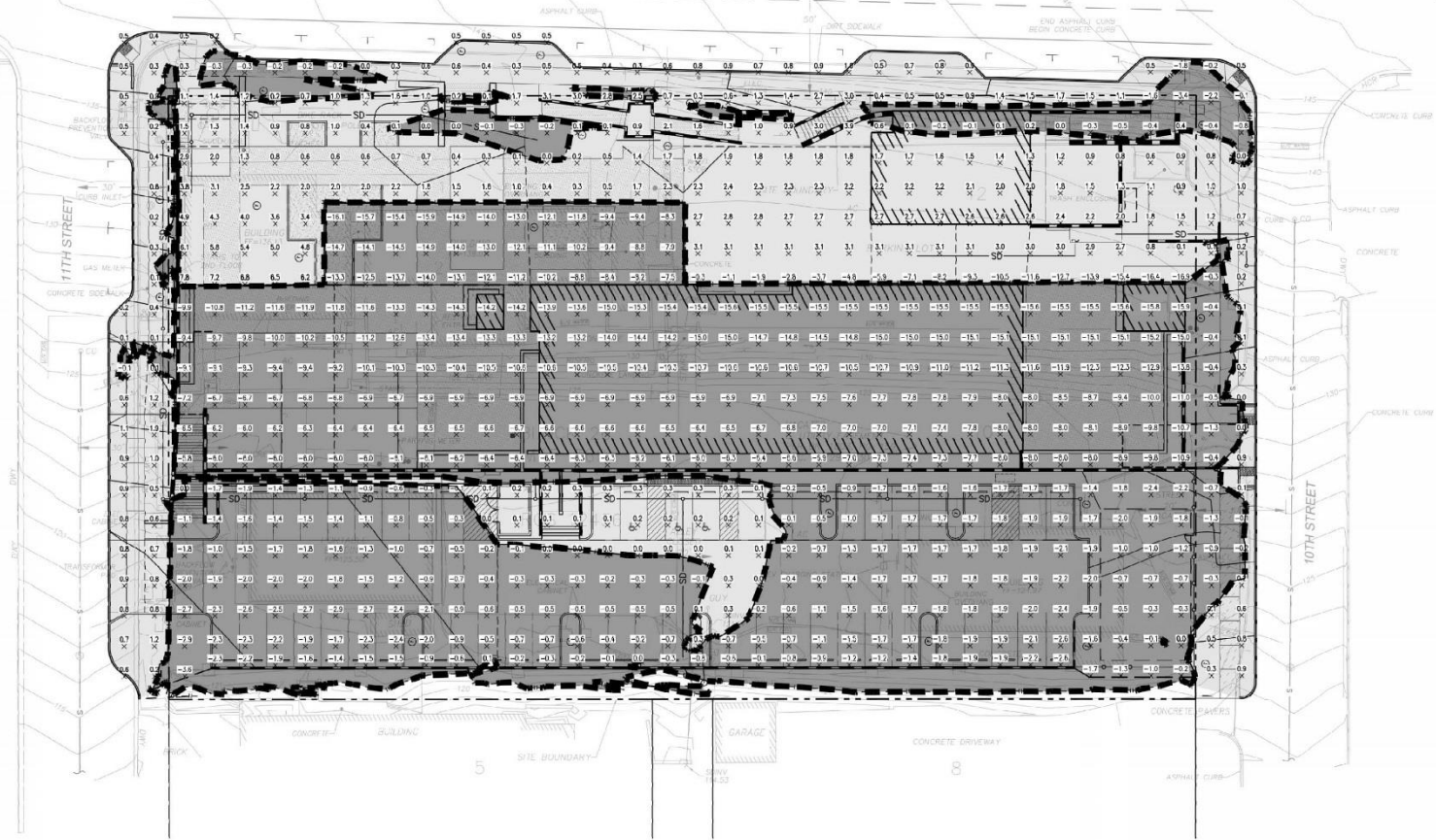
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GRADING ENLARGEMENTS
C-102



CUT/FILL EXHIBIT LEGEND

CUT HEIGHT AT MARKER (FT)	-14.2
FILL HEIGHT AT MARKER (FT)	5.7
CUT/FILL LINE	
CUT AREA	
FILL AREA	

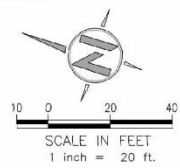
GENERAL NOTES

1. AN ADDITIONAL PERMIT IS REQUIRED BY THE CITY OF DEL MAR, PUBLIC WORKS DEPARTMENT FOR THE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS FOR DRIVEWAY, SIDEWALKS, ETC.
2. SOIL REMOVED FROM SITE AND PLACED WITHIN THE CITY OF DEL MAR REQUIRES ADDITIONAL GRADING OR LAND CONSERVATION PERMITS.
3. ALL CONTRACTORS AND SUB CONTRACTORS MUST HAVE A VALID CITY OF DEL MAR BUSINESS LICENSE PRIOR TO THE PERFORMANCE OF ANY WORK (ORD. #234).
4. NO GRADING SHALL OCCUR OUTSIDE THE LIMITS OF THE APPROVED GRADING PLAN UNLESS PRIOR WRITTEN AUTHORIZATION IS OBTAINED FROM THE CITY AND THE OWNERS OF ANY OTHER ADJACENT PROPERTIES.
5. SEE SHEET C-301 FOR WET UTILITIES (DOMESTIC WATER, FIRE WATER, SANITARY SEWER).
6. ALL SITE RETAINING WALL SUBGRANS WILL DISCHARGE THROUGH THE FACE OF WALL AT REGULAR INTERVALS.

GRADING QUANTITIES

GRADED AREA	1.76 (ACRES)	MAX. CUT DEPTH 16.1 [FT]
CUT QUANTITIES	10,715 (CY)	MAX CUT SLOPE RATIO 2:1
FILL QUANTITIES	1,512 (CY)	MAX. FILL DEPTH 7.8 [FT]
*IMPORT/EXPORT	9,202 (CY)	MAX. FILL SLOPE RATIO 2:1

THIS PROJECT PROPOSES TO EXPORT 9,202 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.



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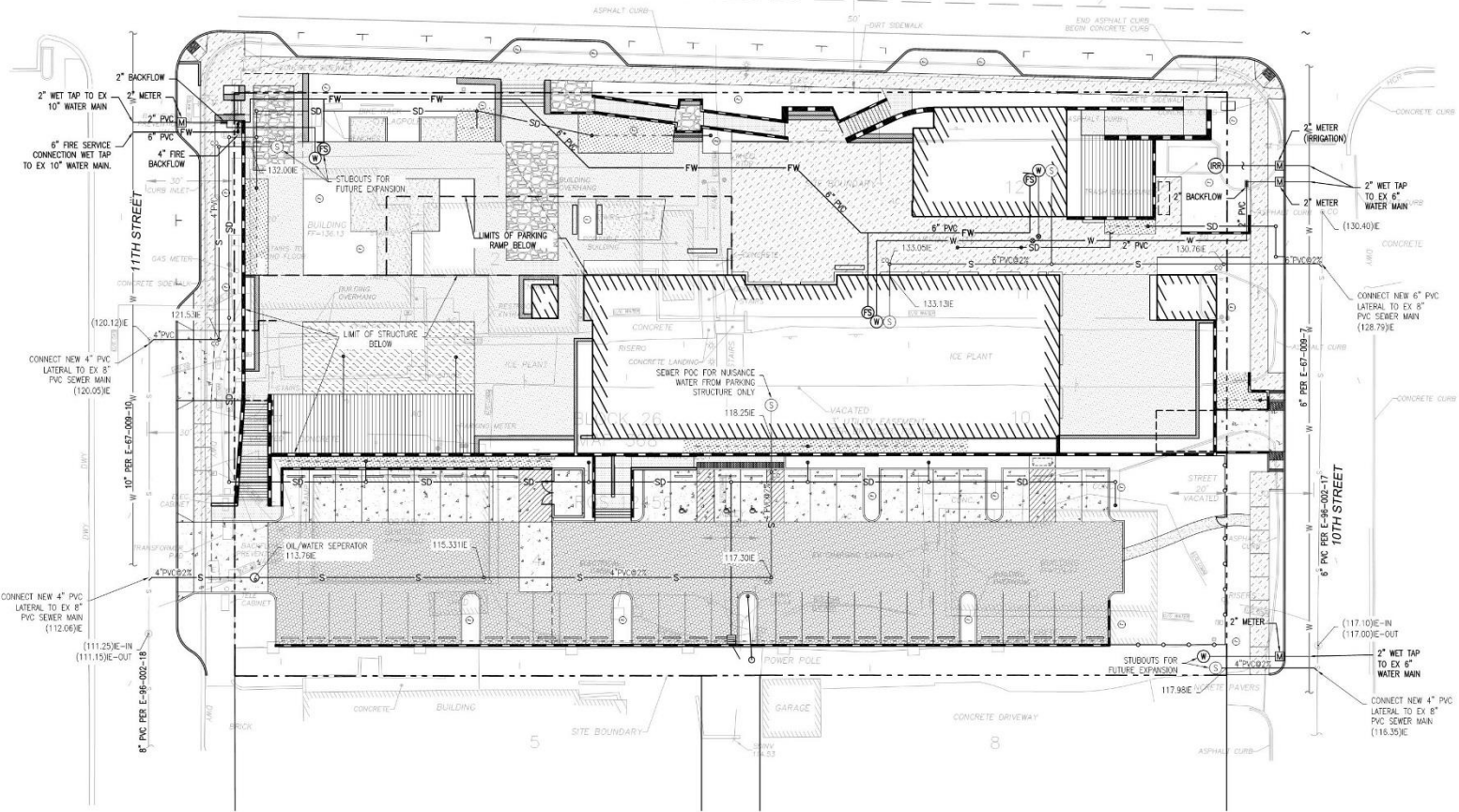
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GRADING CUT/FILL EXHIBIT C-103

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2. SOIL REMOVED FROM SITE AND PLACED WITHIN THE CITY OF DEL MAR REQUIRES ADDITIONAL GRADING OR LAND CONSERVATION PERMITS.
3. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE A VALID CITY OF DEL MAR BUSINESS LICENSE PRIOR TO THE PERFORMANCE OF ANY WORK (ORD. #234).
4. NO GRADING SHALL OCCUR OUTSIDE THE LIMITS OF THE APPROVED GRADING PLAN UNLESS PRIOR WRITTEN AUTHORIZATION IS OBTAINED FROM THE CITY AND THE OWNERS OF ANY OTHER AFFECTED PROPERTIES.
5. STORM DRAIN SHOWN ON THIS SHEET FOR REFERENCE ONLY. SEE SHEET C-101 FOR CONTINUATION OF STORM DRAINS.

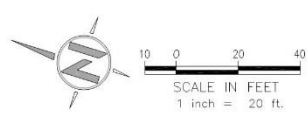
UTILITY LEGEND

PROPOSED SANITARY SEWER LINE	
PROPOSED SANITARY SEWER CLEANOUT	
PROPOSED SANITARY SEWER OIL/WATER SEPARATOR	
PROPOSED DOMESTIC WATER LINE	
PROPOSED DOMESTIC WATER METER	
PROPOSED DOMESTIC WATER BACKFLOW	
PROPOSED FIRE WATER LINE	
PROPOSED FIRE WATER BACKFLOW	

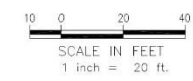
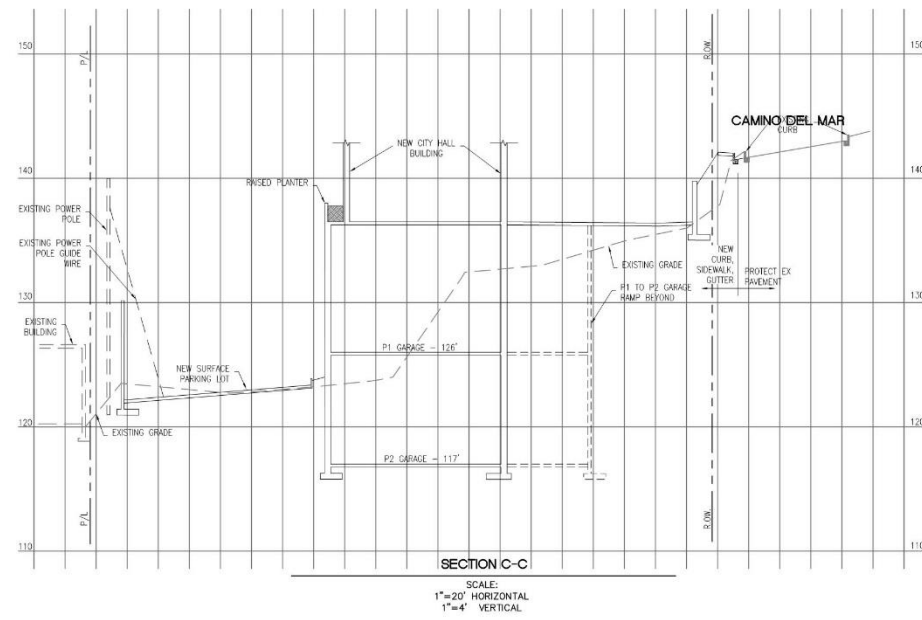
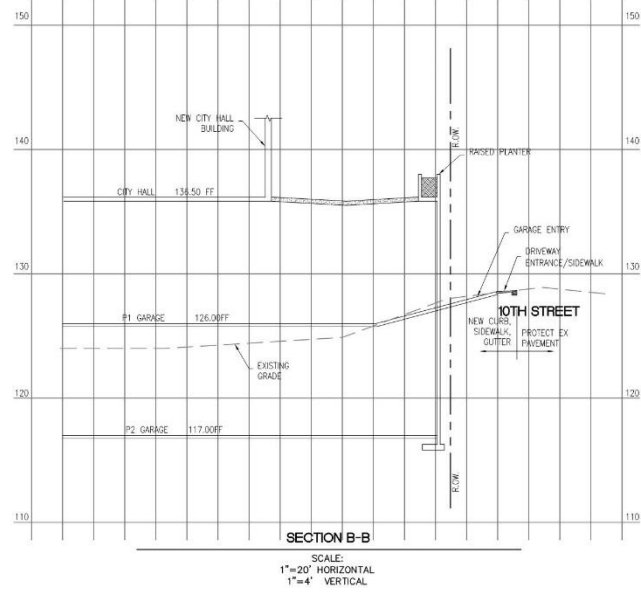
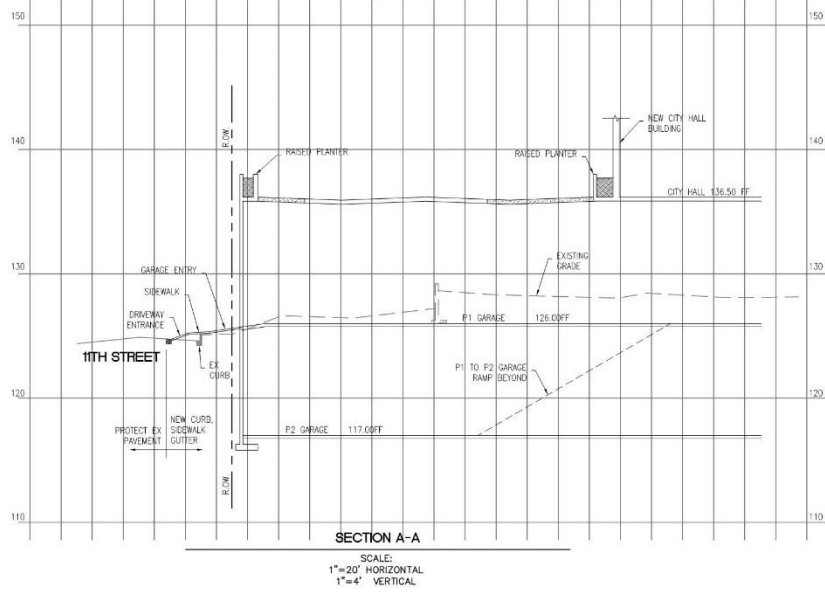
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WET UTILITY PLAN
C-121

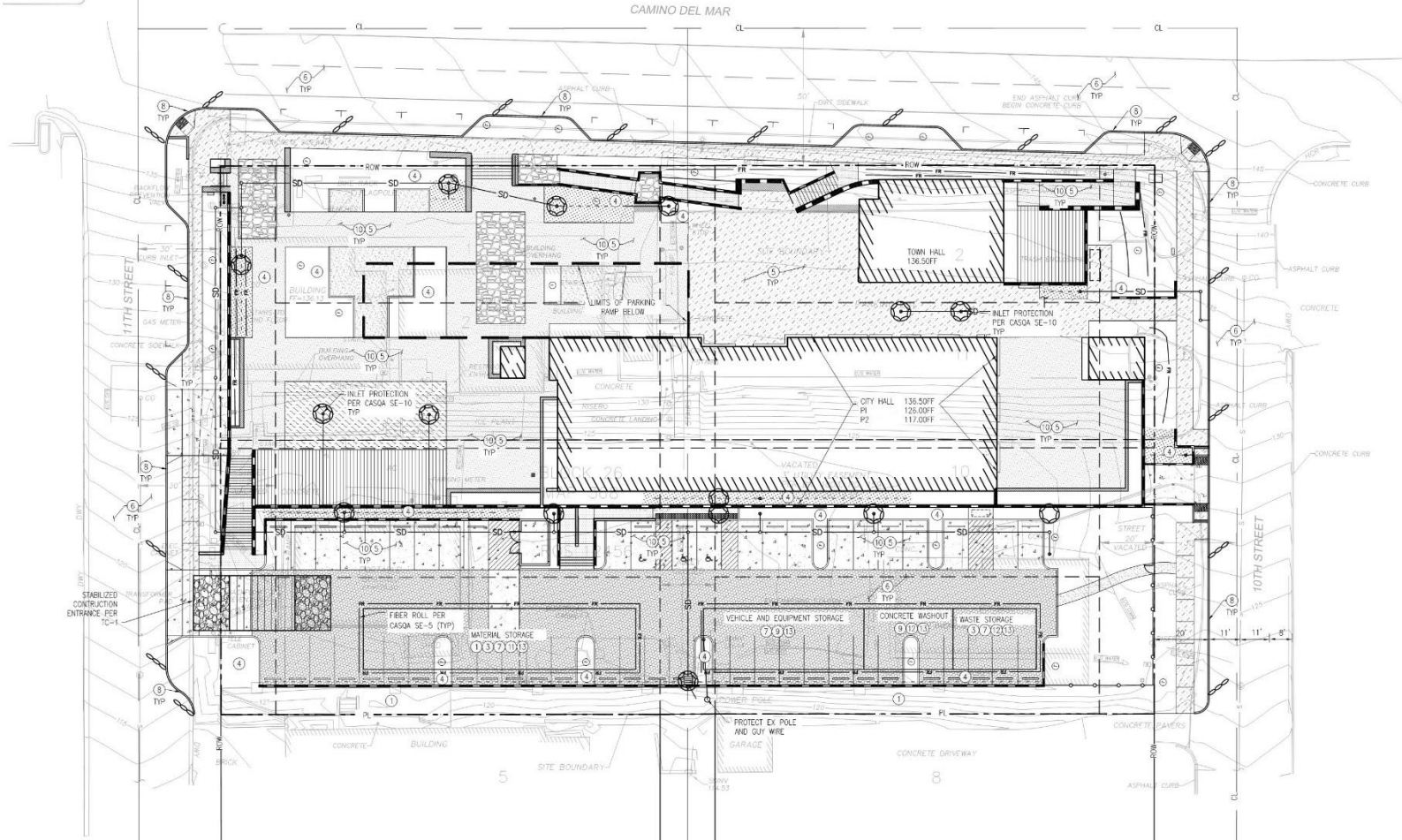


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EROSION & SEDIMENT CONTROL KEYNOTES ①

1. PRESERVATION OF EXISTING VEGETATION (CASQA EC-2): PRESERVE VEGETATION TO THE MAXIMUM EXTENT PRACTICABLE.
2. TEMPORARY SOIL BARRIERS (CASQA EC-5), STRAW MULCH (CASQA EC-6), OR WOOD MULCH (CASQA EC-8): USED ON EXPOSED & DISTURBED SOIL SURFACES REQUIRING TEMPORARY STABILIZATION.
3. GEOTEXTILES & MATS (CASQA EC-7): USE PLASTIC COVERS ON STOCKPILES. USE ON EXPOSED AND DISTURBED SOILS DURING RAIN EVENTS. MAY USE COMPOST BLANKETS (CASQA EC-14).
4. SOIL PREPARATION/PUSHING (CASQA EC-10): SOIL PREPARATION FOR VEGETATIVE ESTABLISHMENT IN CONJUNCTION WITH RECOMMENDED EROSION & SEDIMENT CONTROL BMPs. SOIL ROUGHENING ON ANY DISTURBED SLOPES OR SOIL STOCKPILES. DO NOT USE WITH EC-7.
5. NON-VEGETATIVE STABILIZATION (CASQA EC-16): PLACE ON AREAS OF DISTURBED SOIL WHERE VEGETATION WILL NOT BE ESTABLISHED AND ON MATERIAL STOCKPILES REQUIRING STABILIZATION FROM WATER OR WIND EROSION.
6. STREET SWEEPING & VACUUMING (CASQA SE-7): IMPLEMENT ANYWHERE SEDIMENT IS TRACKED FROM THE PROJECT SITE ONTO PUBLIC PAVED SURFACES, TYPICALLY AT POINTS OF INGRESS/EGRESS.
7. WIND EROSION CONTROL (CASQA WE-1): IMPLEMENT AT SOIL STOCKPILES & AT ALL AREAS OF DISTURBED SOIL. PAVING & GRINDING OPERATIONS (CASQA NS-3): IMPLEMENT AT ALL LOCATIONS WHERE PAVING, SURFACING, SMOOTHING, ETC. MAY POLLUTE STORMWATER RUNOFF.
8. VEHICLES & EQUIPMENT MAINTENANCE (CASQA NS-8, 9, & 10): VEHICLES & EQUIPMENT MAINTENANCE SHALL BE IN DESIGNATED CONTAINED AREAS ONLY.
9. CONCRETE CURING (CASQA NS-12) & CONCRETE FINISHING (CASQA NS-13): IMPLEMENT AT ALL LOCATIONS WHERE CONCRETE IS USED.
10. MATERIAL DELIVERY & STORAGE (CASQA WM-1) & STOCKPILE (CASQA WM-3) MANAGEMENT: SEGREGATE CONSTRUCTION MATERIALS IN BERMED/COVERED AREA.
11. SOLID WASTE (CASQA WM-5), HAZARDOUS WASTE (CASQA WM-6), CONCRETE WASTE (CASQA WM-8), & SANITARY/SEPTIC WASTE (CASQA WM-9) MANAGEMENT: PLACE WASTE IN A COVERED AREA OR SECONDARY CONTAINER A MINIMUM OF 50' FROM DRAIN INLETS OR WATERCOURSES.
12. AREA OF NON-DISTURBED SOIL ACTIVITIES WITH THE POTENTIAL TO IMPACT STORM WATER QUALITY (I.E. EXTERIOR PAINTING). IMPLEMENT MATERIAL USE (CASQA WM-2) & SPILL PREVENTION & CONTROL (CASQA WM-4).

EROSION & SEDIMENT CONTROL NOTES

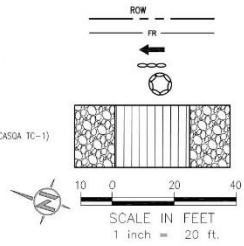
1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE PLANS, WHICH INTERFERE WITH THE WORK, SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES AS RECOMMENDED BY THE ENGINEER OF WORK & AS APPROVED BY THE QUALIFIED SWPPP PRACTITIONER (QSP).
2. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE ENGINEER OF WORK & QSP DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
3. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED SOILS AS NECESSARY. ALL AREAS OF SOIL AND NON-SOIL DISTURBANCE SHALL BE STABILIZED DURING THE RAINY SEASON. EQUIPMENT & EMPLOYEES FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
4. THE CONTRACTOR SHALL IMPLEMENT WATER CONSERVATION (CASQA NS-1) & SPILL PREVENTION & CONTROL (CASQA WM-4) PRACTICES DURING WATER TRANSFER TO AREAS REQUIRING DUST CONTROL & COMPACTION.
5. ANY POWER WASH WATER OR OTHER WASTE WATER FROM GROUTING, CUTTING, OR OTHER ACTIVITIES SHALL BE CAPTURED AND DISCHARGED TO THE SANITARY SEWER SYSTEM. GRADED, DISTURBED, OR EXPOSED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY A STRUCTURE, OR PLANTED FOR A PERIOD OF OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL APPLIED HYDROSEED PER CASQA EC-4.
6. ALL GRADED, DISTURBED OR EXPOSED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

UTILITY NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON VISUAL OBSERVATIONS OF ABOVE GROUND UTILITIES/STRUCTURES AND RESEARCH OF RECORDED UTILITIES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THE TOPOGRAPHIC SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE LOCATION OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.

LEGEND

- RIGHT-OF-WAY/PROPERTY LINE
- FIBER ROLL (CASQA SE-5)
- DIRECTION OF FLOW
- GRAVEL BAGS (CASQA SE-10, TYPE 3)
- INLET PROTECTION (CASQA SE-10)



STABILIZED CONSTRUCTION ENTRANCE (CASQA TC-1)

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EROSION CONTROL PLAN
C-701



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DRAINAGE PATTERN KEYNOTES: ①

1. STORM WATER RUNOFF FROM SITE DISCHARGES VIA AN EXISTING 8" HDPE PIPE THAT DAYLIGHTS THROUGH A WOOD RETAINING WALL IN THE ALLEY.
2. SURFACE FLOW IN ALLEY.
3. SURFACE FLOW IN CURB & GUTTER ALONG STRAITFORD COURT.
4. SURFACE FLOW IN CURB & GUTTER ALONG 11TH STREET.
5. STORM WATER RUNOFF COLLECTED IN CURB INLET AT THE END OF 11TH STREET AND DISCHARGES VIA AN EXISTING STORM DRAIN PIPE THE DAYLIGHTS TO A CONCRETE CHANNEL.
6. SURFACE FLOW IN CONCRETE CHANNEL.
7. STORM WATER RUNOFF COLLECTED AT A HEADWALL AND CONVEYED BENEATH RAILROAD TRACKS VIA STORM DRAIN PIPE.
8. DISCHARGE TO THE PACIFIC OCEAN VIA HEADWALL AT THE BOTTOM OF BEACH BLUFF.
9. SURFACE FLOW ALONG 10TH STREET ASPHALT BERM & PAVEMENT.

HYDROMODIFICATION NOTES

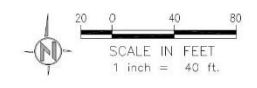
1. THIS PROJECT QUALIFIES FOR A HYDROMODIFICATION MANAGEMENT EXEMPTION IN THE 2013 MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) PERMIT (ORDER NO. RP-2013-001) EFFECTIVE DECEMBER 24, 2015 BECAUSE STORM WATER RUNOFF LEAVING THE SITE IS CAPTURED IN CONFORMANCE CHANNELS (WOODED BED) AND BANK AND CONCRETE LINED ALL THE WAY FROM THE POINT OF DISCHARGE TO THE PACIFIC OCEAN.
2. THE PACIFIC OCEAN AT THIS LOCATION IS NOT AN IMPAIRED BODY OF WATER.

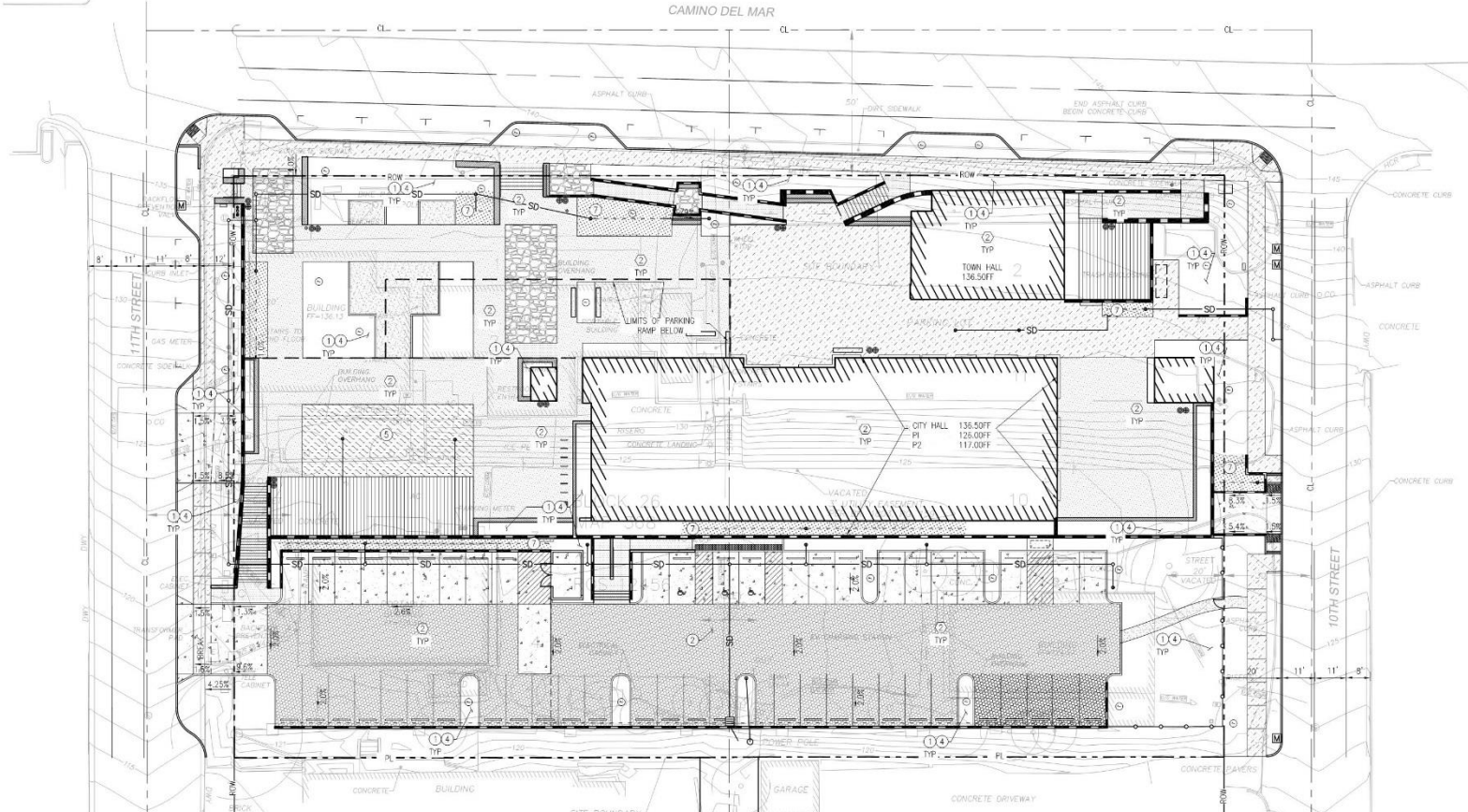
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HYDRO-MODIFICATION EXHIBIT C-711





SITE DESIGN BMPs:

- THIS PROJECT WILL INCORPORATE THE FOLLOWING SITE DESIGN BMPs:
- UTILIZE EXISTING TOPOGRAPHY TO OPTIMIZE SITE LAYOUT AND REDUCE THE NEED FOR GRADING.
 - CONFORM THE SITE LAYOUT ALONG NATURAL LANDFORMS AND REPLICATE THE SITE'S NATURAL DRAINAGE PATTERN.
 - CONCENTRATE DEVELOPMENT ON PORTIONS OF THE SITE WITH LESS PERMEABLE SOILS.
 - IDENTIFY LOCATIONS FOR PLANTING ADDITIONAL NATIVE OR DROUGHT TOLERANT TREES AND LARGE SHRUBS.
 - INCREASE BUILDING DENSITY.
 - CONSTRUCT WALKWAYS, TRAILS, PATIOS, OVERFLOW PARKING LOTS, ALLEYS, AND OTHER LOW-TRAFFIC AREAS WITH PERMEABLE SURFACES.
 - CONSTRUCT STREET, SIDEWALKS, AND PARKING LOT ASLES TO THE MINIMUM WIDTHS NECESSARY.
 - DESIGN SMALLER PARKING LOTS WITH FEWER STALLS, SMALLER STALLS, MORE EFFICIENT LINES.
 - MINIMIZE THE USE OF IMPERVIOUS SURFACES IN THE LANDSCAPE DESIGN.
 - IMPLEMENT PERMEABLE PAVEMENTS INTO THE SITE DESIGN INSTEAD OF IMPERVIOUS CONCRETE OR ASPHALT PAVING.
 - CONSTRUCT VEGETATED OR GREEN ROOFS.
 - MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS.

- THIS PROJECT WILL NOT INCORPORATE THE FOLLOWING SITE DESIGN BMPs:
- SET DEVELOPMENT SUFFICIENTLY AWAY FROM CREEKS, WETLANDS, AND RIPARIAN HABITATS.
 - CONCENTRATE DEVELOPMENT ON FLATTER AREAS WHICH ARE CONSIDERED LESS SENSITIVE THAN HILLSIDE AREAS.
 - LOCATE STORM WATER TREATMENTS FACILITIES IN SOILS WITH HIGH INFILTRATION CAPACITY.
 - CONCENTRATE DEVELOPMENT ON PORTIONS OF THE SITE WHERE THE EROSION POTENTIAL OF THE SOIL IS LOWER AND LESS SENSITIVE TO DEVELOPMENT PRACTICES.
 - CONSERVE NATURAL AREAS AND VEGETATION.
 - PROMOTE THE IMPLEMENTATION OF SHARED DRIVEWAYS.

SOURCE CONTROL BMPs:

- THIS PROJECT WILL INCORPORATE THE FOLLOWING SOURCE CONTROL BMPs:
- NO MAINTENANCE BAYS ARE PROPOSED FOR THIS PROJECT.
 - NO VEHICLE AND EQUIPMENT WASH AREAS ARE PROPOSED FOR THIS PROJECT.
 - NO OUTDOOR PROCESSING AREAS ARE PROPOSED FOR THIS PROJECT.
 - NO FUELING AREAS ARE PROPOSED FOR THIS PROJECT.
 - IRRIGATION SYSTEMS AND LANDSCAPE DESIGN WILL EMPLOY RAIN SHUTOFF DEVICES. IRRIGATION SYSTEMS WILL BE SPECIFIC TO EACH AREA'S WATER REQUIREMENTS. IRRIGATION SYSTEMS WILL USE FLOW REDUCERS OR SHUTOFF VALVES TRIGGERED BY A PRESSURE DROP TO CONTROL WATER LOSS IN THE EVENT OF BROKEN SPRINKLER HEADS OR LINES.
 - NO OUTDOOR STORAGE AREAS ARE PROPOSED FOR THIS PROJECT.
 - TRASH STORAGE AREA WILL BE BROTTEN: PAVED WITH CONCRETE AND WALLED TO PREVENT OFF-SITE TRANSPORT OF TRASH. TRASH CONTAINERS WILL HAVE ATTACHED LIDS THAT WILL REMAIN CLOSED WHEN NOT IN USE TO PREVENT RAINFALL INFILTRATION.
 - NO LOADING DOCKS ARE PROPOSED FOR THIS PROJECT.
 - INTEGRATED PEST MANAGEMENT (IPM) PRACTICES HAVE BEEN INCORPORATED INTO THE DESIGN THROUGH THE SELECTION OF PEST-RESISTANT AND NATIVE PLANT VARIETIES, IPM EDUCATION MATERIALS ADDRESSING METHODS OF PEST DETERRENT, PHYSICAL PEST ELIMINATION TECHNIQUES, AND PROPER USE OF PESTICIDES WILL BE DISTRIBUTED TO FUTURE SITE MAINTENANCE PERSONNEL.
 - ALL PROPOSED STORM DRAIN INLETS AND CATCH BASIN WITHIN THE PROJECT AREA WILL BE STENCILED WITH PROHIBITIVE LANGUAGE AND GRAPHICAL IONS PER CITY OF DEL MAR STANDARDS TO DISCOURAGE ILLEGAL DUMPING.
 - FIRE SYSTEMS WILL BE DESIGNED TO MEET ALL APPLICABLE STANDARDS AND WILL DISCHARGE TO THE SEWER SYSTEM.
 - AIR CONDITIONING CONDENSATE WILL BE DIRECTED TO THE SANITARY SEWER SYSTEM AND/OR LANDSCAPED AREAS.
 - USE OF NON-TONG ROOFING MATERIAL WILL BE IMPLEMENTED WHERE FEASIBLE BY AVOIDING THE USE OF GALVANIZED STEEL OR COPPER FOR ROOFS, GUTTERS, AND DOWNSPOUTS. IF USING SUCH MATERIALS, REDUCE THE POTENTIAL FOR LEACHING OF METALS BY APPLYING A COATING OR PAINT. AVOIDING COMPOSITE ROOFING MATERIALS THAT CONTAIN COPPER.

TREATMENT CONTROL BMPs:

- THIS PROJECT WILL INCORPORATE THE FOLLOWING STRUCTURAL TREATMENT CONTROL BMPs:
- INFILTRATION BASINS
 - SELF-RETAINING AREAS
- THIS PROJECT WILL NOT INCORPORATE THE FOLLOWING STRUCTURAL TREATMENT CONTROL BMPs:
- BIORETENTION BASINS
 - CISTERNS PLUS BIORETENTION BASINS
 - WALLS PLUS BIORETENTION BASINS
 - DRY WELLS
 - CONSTRUCTED MUCKLINES
 - EXTENDED DETENTION BASINS
 - VEGETATED SWALES
 - VEGETATED BUFFER STRIPS
 - FLOW-THROUGH PLANTER BOXES
 - VORTEX SEPARATORS OR WET VAULTS
 - MEDIA FILTERS

STORM WATER MANAGEMENT NOTES:

- THIS PROJECT QUALIFIES FOR A HYDROMODIFICATION MANAGEMENT EXEMPTION. SEE SHEET C-711 FOR ADDITIONAL INFORMATION.
- THIS PROJECT'S SITE DESIGN, SOURCE CONTROL, AND TREATMENT CONTROL BMPs ARE DESIGNED TO COMPLY WITH THE 2015 MUNICIPAL SEWERAGE STORM SEWER SYSTEM (MS4) PERMIT (ORDER NO. R9-2013-0001) WHICH WILL BECOME EFFECTIVE ON DECEMBER 24, 2015.

LEGEND:

IMPERVIOUS AREA:		
CONCRETE PAVING, EXPOSED AGG FINISH		9,272SF
STANDARD CONCRETE PAVEMENT		6,076SF
CONCRETE PAVING W/ INTEGRAL COLOR		11,734SF
SYNTHETIC TURF		1,465SF
FLAGSTONE PAVING		1,345SF
DECOMPOSED GRANITE PAVING		1,200SF
WOOD DECK (OVER STRUCTURE)		2,059SF
BUILDING ROOF		11,247SF
TOTAL IMPERVIOUS AREA		44,398 SF
PERVIOUS AREA:		
PERVIOUS CONCRETE PAVEMENT		11,376SF
INFILTRATION BASIN (PLANTER)		1,191SF
LANDSCAPED AREA		19,700SF
TOTAL PERVIOUS AREA		32,267 SF
TOTAL AREA		76,665 SF

BMP KEYNOTES

- NOT USED
- DISCONNECTED IMPERVIOUS AREAS
- NOT USED
- NOT USED
- MINIMIZE SOIL COMPACTION. RESTRICT HEAVY CONSTRUCTION EQUIPMENT ACCESS TO PLANNED GREEN/LANDSCAPE AREAS
- PERVIOUS PAVEMENT
- SELF-TREATING AREA
- LANDSCAPE AREA
- ARTIFICIAL TURF AREA
- SELF-RETAINING AREA
- INFILTRATION BASIN (BIO-FILTER)

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POST CONST.
BMP SITE PLAN
C-712



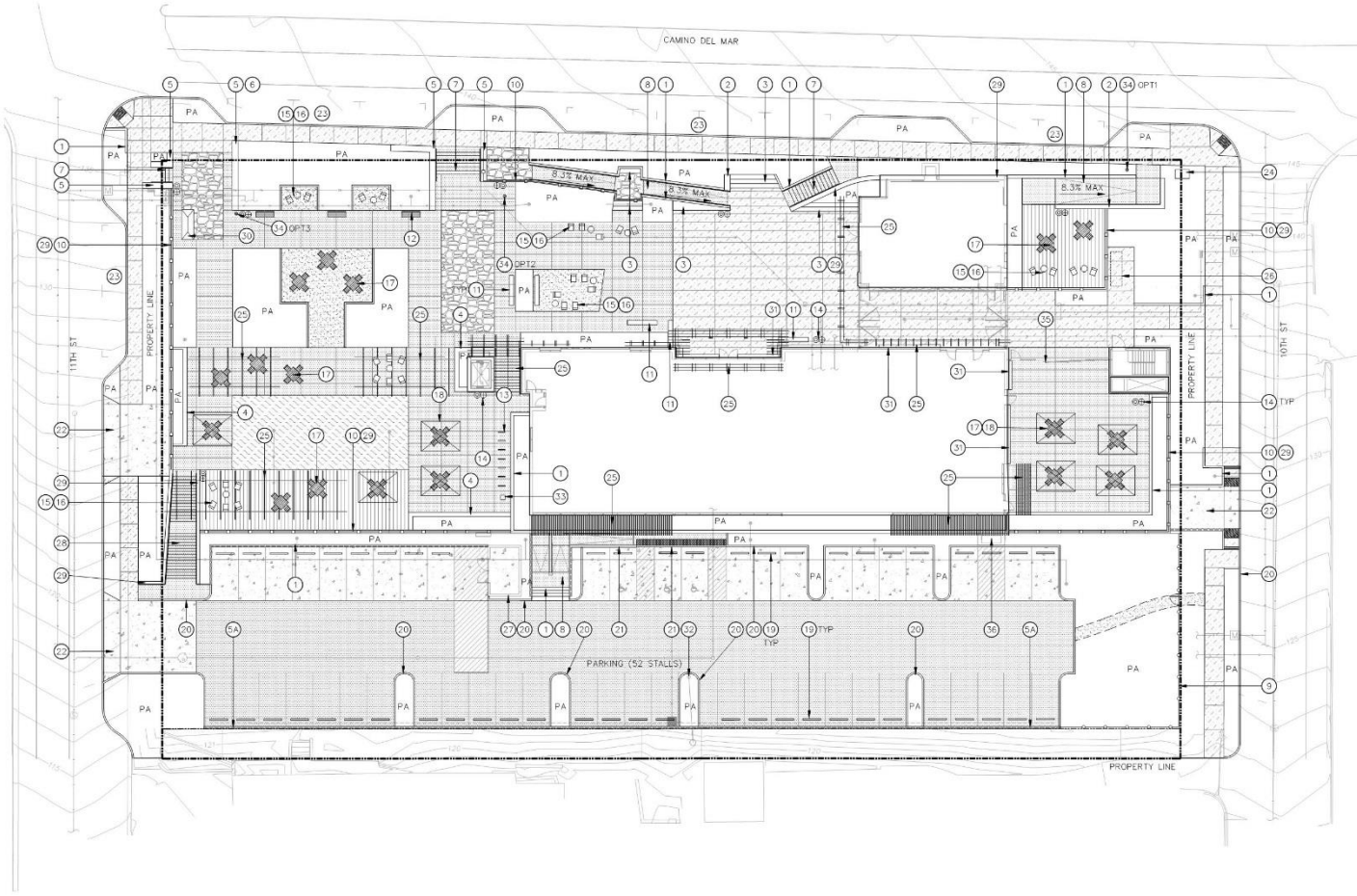
HARDSCAPE LEGEND

SYMBOL	HARDSCAPE
	CONCRETE PAVING, TYPE 1
	CONCRETE PAVING, TYPE 2
	CONCRETE PAVING, TYPE 3
	CONCRETE PAVING, TYPE 4 (POROUS)
	FLAGSTONE PAVING
	SYNTHETIC TURF
	STABILIZED DECOMPOSED GRANITE PAVING
	IPE WOOD DECK TILES ON PEDESTALS
	TRUNCATED DOME PAVERS
	STEEL EDGING

SYMBOL	WALLS/STAIRS/RAMPS
	1 C.I.P. CONCRETE RETAINING WALL TYPE 1
	2 C.I.P. CONCRETE RETAINING WALL TYPE 2
	3 C.I.P. CONCRETE TERRACED SEATWALL
	4 C.I.P. CONCRETE PLANTER / SEAT WALL
	5 STONE VENEER WALL ON CMU CORE
	5A CMU FREESTANDING WALL
	6 MONUMENT SIGN
	7 C.I.P. CONCRETE STAIRS W/ GALV. STL. HANDRAIL
	8 C.I.P. CONCRETE RAMP W/ GALV. STL. HANDRAIL
	9 WOOD PICKET FENCE AND GATE
	10 GALVANIZED STEEL GUARDRAIL

SYMBOL	SITE FURNISHING
	11 BENCH, TYPE 1
	12 BENCH, TYPE 2
	13 BIKE RACK PER CITY STANDARDS
	14 TRASH/RECYCLING RECEPTACLES, PROVIDE ONE OF EACH FOR EACH LOCATION SHOWN
	15 ADIRONDACK CHAIR W/ FAN BACK
	16 ROUND CONVERSATION TABLE
	17 TABLE AND CHAIR SET (4 CHAIRS PER TABLE)
	18 UMBRELLA, WITH POWDERCOATED ALUMINUM FRAME

SYMBOL	MISC. SITE FEATURES
	19 PRECAST CONCRETE WHEEL STOP, PER CIVIL
	20 C.I.P. CONCRETE CURB, PER CIVIL
	21 C.I.P. CONCRETE FLUSH CURB, PER CIVIL
	22 DRIVEWAY APRON, PER CIVIL
	23 PARALLEL PARKING, (11) STALLS TOTAL, PER CIVIL
	24 EXISTING PUBLIC ART AND SIGN TO BE RELOCATED
	25 TRELLIS, PER ARCHITECT
	26 GENERATOR ENCLOSURE, PER ARCHITECT
	27 TRASH ENCLOSURE, PER ARCHITECT
	28 CONCRETE STAIR PER ARCHITECT
	29 WALL PER ARCHITECT
	30 COFFEE / FOOD CART (NOT IN CONTRACT) PROVIDE POWER, WATER & STORM DRAIN CONNECTION
	31 12" ROCK POCKET ADJACENT TO BLDG.
	32 RELOCATED GUY WIRE FOR POWER POLE
	33 BIKE REPAIR STATION (SITE SALVAGE & REUSE)
	34 FLAGPOLE, HT TO MATCH EXISTING (PROVIDE 1 ONLY AT LOCATION TBD.)
	35 SLIDING GATE PER ARCHITECT
	36 TRANSFORMER PER ELECTRICAL
	PROPERTY LINE
	PA PLANTING AREA



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HARDSCAPE PLAN
L-101

HARDSCAPE LEGEND

SYMBOL	HARDSCAPE	DETAIL	DESCRIPTION	MANUFACTURER	MODEL	SPECIFICATION
	CONCRETE PAVING, TYPE 1		STANDARD GRAY W/MEDIUM BROOM FINISH			
	CONCRETE PAVING, TYPE 2		STANDARD GRAY W/ EXPOSED AGGREGATE FINISH, 3/8" CARROLL CANYON AGGREGATE			
	CONCRETE PAVING, TYPE 3		INTEGRAL COLOR W/SAND FINISH	DAVIS COLORS, 800-356-4848		COLOR: T.B.D.
	CONCRETE PAVING, TYPE 4 (POROUS)		STANDARD GRAY POROUS CONCRETE W/ GROUND FINISH			
	FLAGSTONE PAVING		24"-30" x 2" THICK, IRREGULAR FLAGSTONE PAVERS SAND SET ON AGGREGATE BASE	MODERN BUILDER SUPPLY 760-591-4570		SIERRA SANDSTONE
	SYNTHETIC TURF		SYNTHETIC TURF WITH SILICA SAND INFILL SET ON AGGREGATE BASE	SYNLAWN, 866-799-5296		SYNRYE 251
	STABILIZED DECOMPOSED GRANITE PAVING		3" THICK ON COMPACTED SUBGRADE			COLOR: T.B.D.
	IPE WOOD DECK TILES ON PEDESTALS		24" X 24" STRUCTURAL FSC WOOD DECK TILES	TOURNESOL 800-542-2282		BOULEVARD STRUCTURAL DECK TILES
	TRUNCATED DOME PAVERS		CHARCOAL GRAY			
	STEEL EDGING		1/4" THICK BY 5" TALL, DURAEDEGE	J.D. RUSSELL 800-888-7428		COLOR: GALVANIZED
WALLS/STAIRS/RAMPS						
	1 C.I.P. CONCRETE RETAINING WALL TYPE 1		8" W, INTEGRAL COLOR W/ SANDBLAST FINISH	DAVIS COLORS, 800-356-4848		COLOR: T.B.D.
	2 C.I.P. CONCRETE RETAINING WALL TYPE 2		24" W, INTEGRAL COLOR W/ SANDBLAST FINISH	DAVIS COLORS, 800-356-4848		COLOR: T.B.D.
	3 C.I.P. CONCRETE TERRACED SEATWALL		18" W, INTEGRAL COLOR W/ SANDBLAST FINISH	DAVIS COLORS, 800-356-4848		COLOR: T.B.D.
	4 C.I.P. CONCRETE PLANTER / SEAT WALL		18" W, INTEGRAL COLOR W/ SANDBLAST FINISH	DAVIS COLORS, 800-356-4848		COLOR: T.B.D.
	5 STONE VENEER WALL ON CMU CORE		24" W, BAJA CRESTA STONE VENEER	RCP BLOCK, 800-794-4727		BAJA CRESTA, 2"-4"
	5A CMU FREESTANDING WALL		8" TALL, 8X8X16 BLOCK WITH SOLID CAP AND REGALSTONE FINISH	RCP BLOCK, 800-794-4727		COLOR: T.B.D.
	6 MONUMENT SIGN		T.B.D.			
	7 C.I.P. CONCRETE STAIRS W/ GALV STL HANDRAIL		STD GRAY W/ LIGHT SAND FINISH			
	8 C.I.P. CONCRETE RAMP W/ GALV STL HANDRAIL		STD GRAY W/ LIGHT SAND FINISH, DETAIL PER CIVL			
	9 WOOD PICKET FENCE AND GATE		30" TALL IPE FENCE AND SWING GATE WITH ALTERNATE BOARD (SHADOW BOX) CONSTRUCTION.	J&W LUMBER, 760-745-6800		SLAT SIZE: T.B.D., IPE WOOD
	10 GALVANIZED STEEL GUARDRAIL		24" TALL GALVANIZED STEEL GUARDRAIL EMBEDDED IN 18" TALL CONCRETE WALL (42" OVERALL HEIGHT MIN.)			
SITE FURNISHING						
	11 BENCH, TYPE 1		POWDERCOATED STEEL W/ WOOD SLATS	LANDSCAPE FORMS 800-430-6209		LANDSCAPE FORMS "BANCAL"
	12 BENCH, TYPE 2		POWDERCOATED STEEL W/ WOOD SLATS	LANDSCAPE FORMS 800-430-6209		LANDSCAPE FORMS "FGP"
	13 BIKE RACK PER CITY STANDARDS		POWDERCOATED STEEL WITH DEL MAR LOGO EMBEDDED MOUNTING			
	14 TRASH/RECYCLING RECEPTACLES, PROVIDE ONE OF EACH FOR EACH LOCATION SHOWN		CAST ALUMINUM WITH WOOD SLATS, PROVIDE TWO RECYCLE LOGOS ON EACH RECYCLE RECEPTACLE	LANDSCAPE FORMS 800-430-6209		LANDSCAPE FORMS "FGP"
	15 ADIRONDACK CHAIR W/ FAN BACK		RECYCLED PLASTIC SLATS WITH FAN BACK	BREEZESTA, 888-846-7177		COLOR: T.B.D.
	16 ROUND CONVERSATION TABLE		26" ROUND TABLE WITH RECYCLED PLASTIC SLATS	BREEZESTA, 888-846-7177		COLOR: T.B.D.
	17 TABLE AND CHAIR SET (4 CHAIRS PER TABLE)		MOVABLE TABLE AND CHAIRS WITH WOOD SLATS AND POWDERCOATED STEEL SUPPORTS	LANDSCAPE FORMS 800-430-6209		"MINIMARK" POWDERCOATED COLOR: T.B.D.
	18 UMBRELLA, WITH POWDERCOATED ALUMINUM FRAME		10' X 12' RETRACTABLE UMBRELLA, BASE T.B.D.	FIM 888-551-5221		"FLEXY COMMERCIAL", CANVAS AND POWDERCOATED COLOR T.B.D.
MISC. SITE FEATURES						
	19 PRECAST CONCRETE WHEEL STOP, PER CIVL					
	20 C.I.P. CONCRETE CURB, PER CIVL					
	21 C.I.P. CONCRETE FLUSH CURB, PER CIVL					
	22 DRIVEWAY APRON, PER CIVL					
	23 PARALLEL PARKING, (11) STALLS TOTAL, PER CIVL					
	24 EXISTING PUBLIC ART AND SIGN TO BE RELOCATED					
	25 TRELIS, PER ARCHITECT					
	26 GENERATOR ENCLOSURE, PER ARCHITECT					
	27 TRASH ENCLOSURE, PER ARCHITECT					
	28 CONCRETE STAIR PER ARCHITECT					
	29 WALL PER ARCHITECT					
	30 COFFEE / FOOD CART (NOT IN CONTRACT) PROVIDE POWER, WATER & STORM DRAIN CONNECTION					
	31 12" ROCK POCKET ADJACENT TO BLDG.		3/4" "DUNE" GRAVEL, 4" DEPTH	DECORATIVE STONE SOLUTIONS 800-699-1878		COLOR: 3/4" DUNE
	32 RELOCATED GUY WIRE FOR POWER POLE					
	33 BIKE REPAIR STATION (SITE SALVAGE & REUSE)		SURFACE MOUNT			
	34 FLAGPOLE, HT TO MATCH EXISTING (PROVIDE 1 ONLY AT LOCATION TBD.)					
	35 SLIDING GATE PER ARCHITECT					
	36 TRANSFORMER PER ELECTRICAL					
	37 PROPERTY LINE					
	38 PLANTING AREA					

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HARDSCAPE LEGEND
L-102

PAVING



CONCRETE PAVING TYPE 1: STANDARD GRAY W/MEDIUM BROOM FINISH



CONCRETE PAVING TYPE 2: STANDARD GRAY W/ EXPOSED AGGREGATE FINISH



CONCRETE PAVING TYPE 3: INTEGRAL COLOR W/SAND FINISH



CONCRETE PAVING TYPE 4: POROUS CONCRETE PAVING W/ GROUND FINISH



SANDSTONE PAVING



SYNTHETIC TURF



DECOMPOSED GRANITE PAVING W/ STABILIZER



IPE WOOD DECK TILES

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HARDSCAPE
CHARACTER
IMAGES
L-103

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	QUANTITY
	SUB-SURFACE DRIP IRRIGATION	21,734 SF
	NEW 1-1/2" IRRIGATION SUB-METER	
	NEW 1-1/2" BACK FLOW PER CIVIL	
	NEW ET WATER IRRIGATION CONTROLLER IN STAINLESS STEEL ENCLOSURE 120 VOLT ELECTRICAL POWER TO BE PROVIDED BY ELECTRICIAN	

NOTES:

- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- ALL IRRIGATION EQUIPMENTS TO INCLUDE PURPLE PIPE AND BOXES FOR FUTURE CONNECTION TO RECLAIMED WATER.

WATER USE CALCULATION

PROJECT ETo = 47

THIS CALCULATION ASSUMES THAT HYDROZONE 1 CONSISTS OF PRECISION TREE BUBBLERS WITH AN IRRIGATION EFFICIENCY (IE) OF 0.75 (75%) AND LOW WATER USE PLANTS WITH A PLANT FACTOR (PF) OF 0.4. HYDROZONE 2 CONSISTS OF DRIP IRRIGATION WITH AN IE OF 0.90 (90%) AND LOW WATER USE PLANTS WITH A PF OF 0.4. AND HYDROZONE 3 CONSISTS OF DRIP IRRIGATION WITH AN IE OF 0.90 (90%) AND MODERATE WATER USE PLANTS WITH A PF OF 0.6. IT ALSO ASSUMES THAT THERE ARE NO SPECIAL LANDSCAPE AREAS.

MAXIMUM APPLIED WATER ALLOWANCE

$$MAWA = (ETo)(0.62) [(0.7)(LA) + (0.3)(SLA)]$$

$$MAWA = (47)(0.62) [(0.7)(21,734) + (0.3)(0)]$$

$$MAWA = 443,330 \text{ GAL/YEAR}$$

ESTIMATED TOTAL WATER USE

$$ETWU = [(ETo)(0.62)] [(PF)(HA)/IE + SLA]$$

HYDROZONE 1:

$$ETWU = [(47)(0.62)] [(0.6)(600)/0.72 + 0]$$

$$ETWU = 14,570 \text{ GAL/YEAR}$$

HYDROZONE 2:

$$ETWU = [(47)(0.62)] [(0.4)(18,395)/0.90 + 0]$$

$$ETWU = 238,236 \text{ GAL/YEAR}$$

HYDROZONE 3:

$$ETWU = [(47)(0.62)] [(0.6)(2,739)/0.90 + 0]$$

$$ETWU = 53,210 \text{ GAL/YEAR}$$

TOTAL ETWU = 306,016 GAL/YEAR

THE TOTAL ETWU (306,016 GAL/YEAR) IS LESS THAN THE TOTAL MAWA (443,330 GAL/YEAR)

NOTE: ALL ETO, PLANT FACTOR AND IRRIGATION EFFICIENCY INFORMATION WAS GATHERED FROM CIMIS AND WUCOLS FOR THE PROJECT AREA.

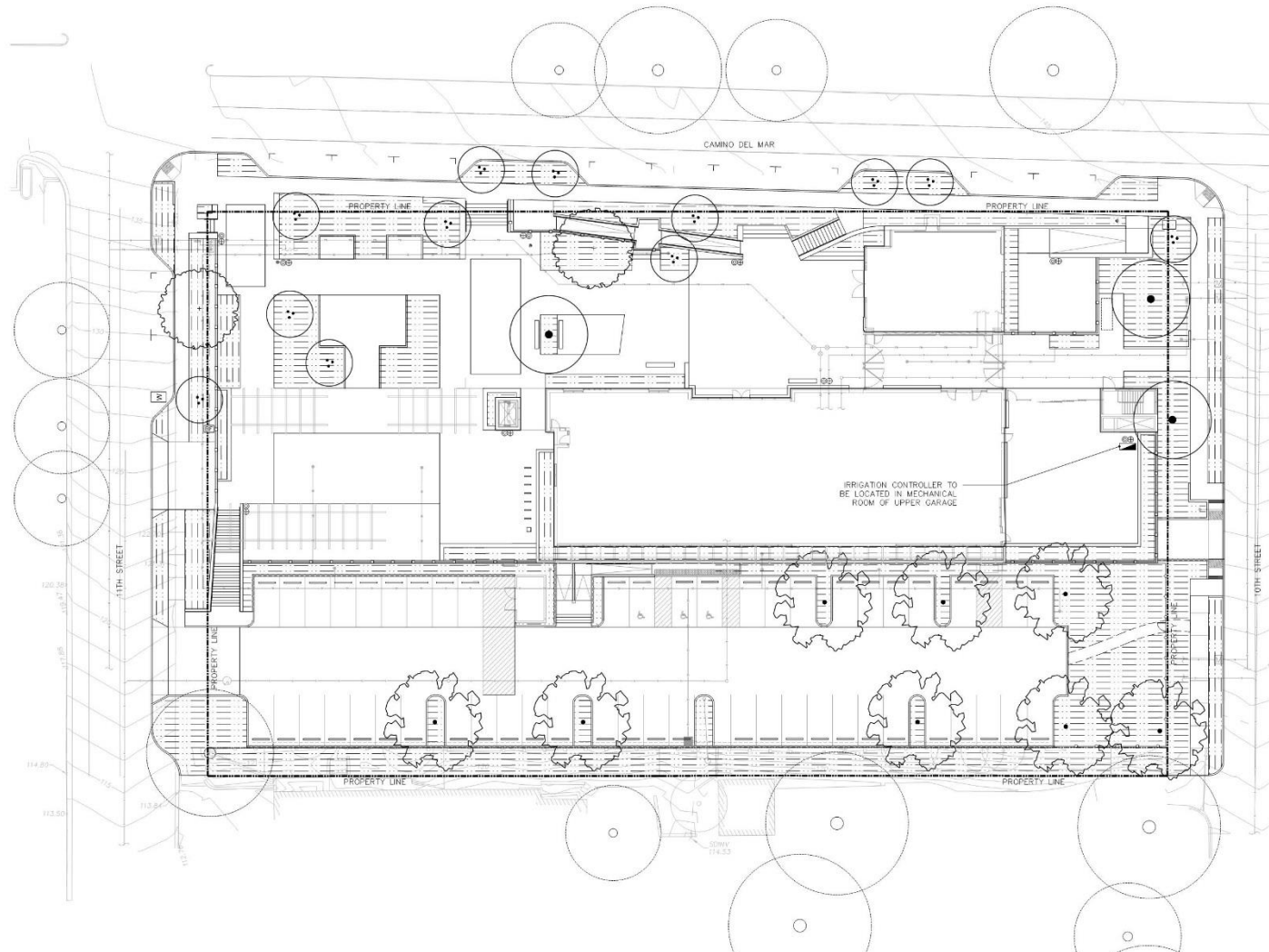
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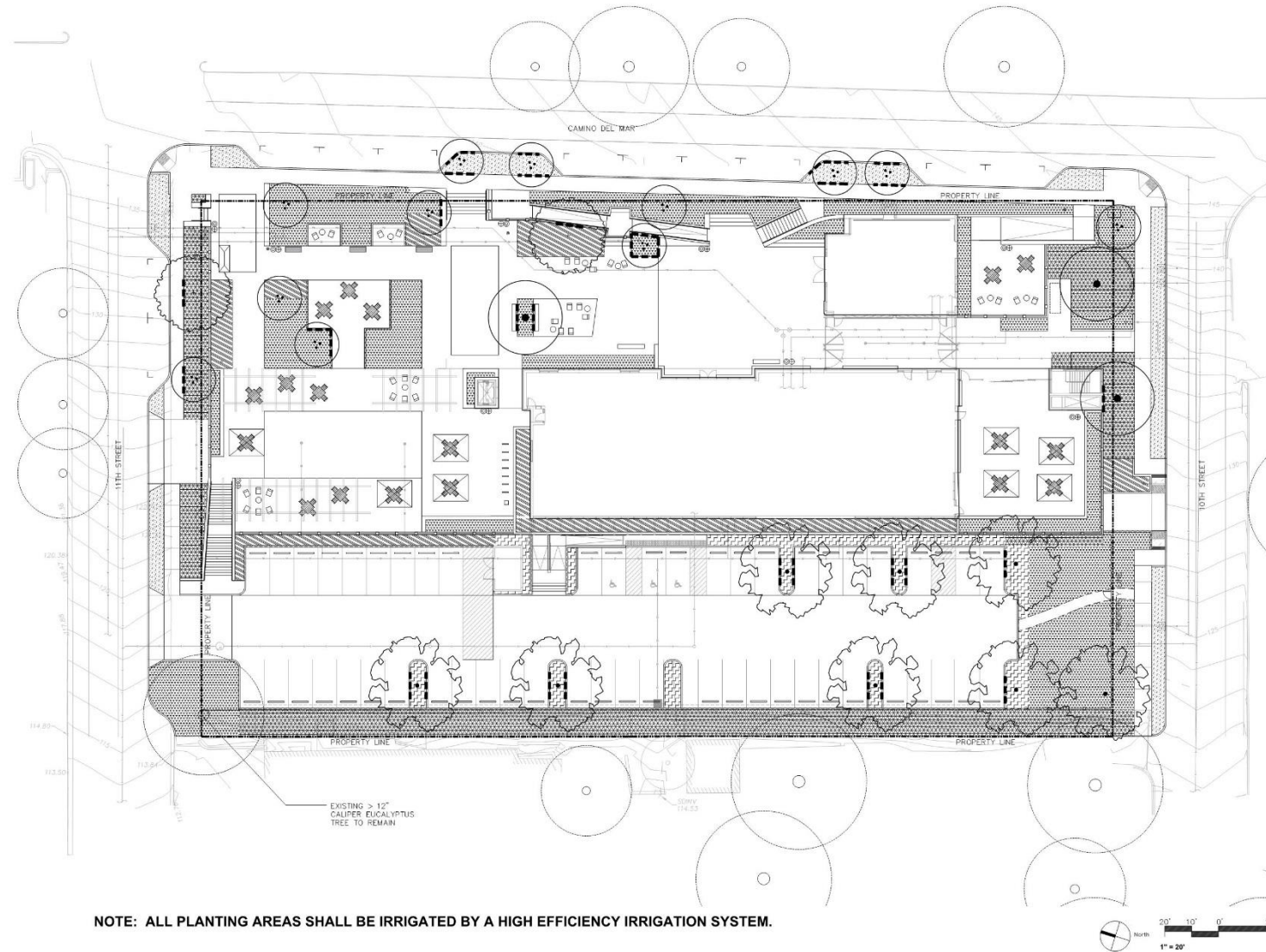
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IRRIGATION PLAN
L-201



NOTE: ALL PLANTING AREAS SHALL BE IRRIGATED BY A HIGH EFFICIENCY IRRIGATION SYSTEM.





PLANT LEGEND
REFER TO SHEET L-104 FOR FULL PLANTING LEGEND

SYMBOL	
TREES	
	SPECIMEN TREES SUCH AS: PINUS TORREYANA
	HOLIDAY SPECIMEN TREES SUCH AS: CUPRESSUS MACROCARPA
	SHADE TREES SUCH AS: GEUKIA PARVIFLORA PLATANUS RADICATA PODOCARPUS MACROPHYLLUS TRISTANIA CONFERTUS
	ACCENT TREES SUCH AS: CERCIS OCCIDENTALIS LAGERSTROEMIA SPECIES TABERNA IMPETIGONDA
	EXISTING TREES: EXISTING TREE TO BE PROTECTED IN PLACE
SYMBOL	
SHRUBS / GROUNDCOVER / VINES / TURF	
	ORNAMENTAL / ACCENT PLANTING SUCH AS: AECONIUM ARBOREUM 'ZWARTKOP' AGAVE AMERICANA AGAVE ATTENUATA 'NOVA' ALOE SPECIES ARCTOSTAPHYLOS HOOKERI BOUGAINVILLEA SPECIES BULBINE FRUTESCENS CANPIS RADICANS CEANOthus SPECIES DIETES GRANDIFLORA DRACAENA MARGINATA FRAGARIA CHILOENSIS GRAPTOPETALUM SUPERBUM HEMEROCALLIS 'YELLOW' HESPERALOE PARVIFLORA LIMONILUM PEREZZI KALANCHOE SPECIES PACHYCLERUS MARGINATUS ROSIAMARIS OFFICINALIS 'PROSTRATUS' SALVIA SPECIES SANSEVERIA TRIFASCIATA 'LAURENTII' SENECIO MANDRALISCAE TRADESCANTIA PALLIDA 'PURPLE HEART' WESTERA SINENSIS YUCCA WHIPPLEI
	STREETSCAPE PLANTING SUCH AS: ANGOZANTHOS SPECIES CAREX TUMULOSA DIANELLA REVOLUTA FESTUCA MAUREI HEMEROCALLIS 'YELLOW' LIMONILUM PEREZZI LEYMUS ARENARIUS 'GLAUCUS' LIRIOPE SPICATA MUEHLENBERGIA RIGENS MISCANTHUS TRANSMORRISONENSIS NERSENA LILACINA 'DE LA MINA' WESTRINGIA FRUTICOSA 'MORNING LIGHT'
	BIORETENTION PLANTING SUCH AS: BOUTELLOIA GRAELIS CAREX SPISSA CHONDROPTALUM TECTORUM FESTUCA 'ELIJAH BLUE' IRIS DOUGLASSIANA LINUM PATENS LESSINGIA FLAGINIFOLIA 'SILVER CARPET' LEYMUS CONDENSATUS 'CANYON PRINCE' LOMANDBA LONGIFOLIA 'BREEZE'
	BUILDING SCREENING PLANTING SUCH AS: CALLISTEMON SPECIES CLYTOSTOMA CALLISTEGODES HETEROMELES ARBUTIFOLIA LIQISTRUM JAPONICUM 'TEXANUM' LONICERA SEMPERVIRENS METROSIDEROS COLLINA 'SPRINGFIRE' PITTOSPORUM TENIFOLIUM 'SILVER SHEEN' PODOCARPUS HENKELII RHAMNUS EVE CASE TRACHELOSPERMUM JASMINOIDES
	PARKING SCREENING PLANTING SUCH AS: BUXUS MICROPHYLLA JAPONICA (HEDGE) CARISSA MACROCARPA LANTANA SPECIES LIRIOPE 'GIANTEA' MISCANTHUS SINENSIS 'SENTINEL' PITTOSPORUM TOBIRA 'WHEELER'S DWARF' PORTULACARIA AFRICA 'ALEX' RHAPHOLEPIS UMBELLATA 'MINOR'
	OTHER ROOT BARRIER

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PLANTING PLAN
L-301

PLANT LEGEND
REFER TO SHEET L-104 FOR FULL PLANTING LEGEND

SYMBOL	COMMON NAME	CONTAINER SIZE	O.C. SPACING	MATURE SIZE	QUANTITY	WATER NEEDS	
TREES							
SPECIMEN TREES SUCH AS:							
	PINUS TORREYANA	TORREY PINE	48" BOX	AS SHOWN	50' H X 40' W	2	LOW
HOLIDAY SPECIMEN TREES SUCH AS:							
	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	48" BOX	AS SHOWN	40' H X 40' W	3	LOW
SHADE TREES SUCH AS:							
	CELEBRA PARVIFLORA	AUSTRALIAN WILLOW	36" BOX	AS SHOWN	35' H X 25' W	8	MODERATE MODERATE
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	AS SHOWN	50' H X 35' W		
	PODOCARPUS MACROPHYLLUS	YEW PLUM PINE	36" BOX	AS SHOWN	30' H X 25' W		
	TRISTANIA CONFERTUS	BRISBANE BOX	36" BOX	AS SHOWN	35' H X 25' W		
ACCENT TREES SUCH AS:							
	CEROIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	AS SHOWN	15' H X 15' W	12	LOW MODERATE MODERATE
	LAGERSTROMIA SPECIES	CRAPPE MYRTLE	36" BOX	AS SHOWN	20' H X 15' W		
	TABESBIA IMPETIGIOSA	TRUMPET TREE	36" BOX	AS SHOWN	25' H X 25' W		
	EXISTING TREES: EXISTING TREE TO BE PROTECTED IN PLACE						

SYMBOL	SHRUBS / GROUNDCOVER / WINES / TURF	COMMON NAME	MATURE HEIGHT / SPREAD	SIZES / SPACING	QUANTITY
ORNAMENTAL / ACCENT PLANTING SUCH AS:					
	ALONUM ARBOREUM 'ZWARTKOP'	BLACK ROSE ACONIUM	7,933 S.F.		
	AGAVE AMERICANA	CENTURY PLANT	6' X 10'	5% - 1 GAL @ 12" O.C.	456
	AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	5' X 5'	30% - 1 GAL @ 24" O.C.	687
	ALOE SPECIES	ALOE	2'-7" X 2'-6"	40% - 5 GAL @ 36" O.C.	407
	ARCTOSTAPHYLOS HOOKERI	MONTEREY MANZANITA	4' X 6'	25% - 15 GAL @ 48" O.C.	143
	BOUGAINVILLEA SPECIES	BOUGAINVILLEA	WINE		
	BULBINE FRUTESCENS	STALKED BULBINE	2' X 2'		
	CANSPIS RADICANS	TRUMPET WINE	WINE		
	CELANOTHUS SPECIES	CALIFORNIA LILAC	2'-6" X 3'-10"		
	DIETES GRANDIFLORA	FORTNIGHT LILY	3' X 3'		
	DRACAENA MARGONATA	MADAGASCAR DRAGON TREE	4' X 3'		
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	6' X 6'		
	GRAFTOPETALUM SUPERBUM	BEAUTIFUL GRAFTOPETALUM	1' X 3'		
	HEMEROCALLIS 'YELLOW'	DAYLILY	3' X 3'		
	HESPERALOE PARVIFLORA	RED YUCCA	3' X 3'		
	LIMONUM PEREZII	SEA LAVENDER	2' X 2'		
	KALANCHOE SPECIES	KALANCHOE	2' X 3'		
	PACHYCLERUS MARGINATUS	MEXICAN FENCE POST	10' X 2'		
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	CARPET ROSEMARY	2' X 8'		
	SALVIA SPECIES	SALVIA	2'-5" X 3'-6"		
	SANSEVIERIA TRIFASCIATA 'LAURENTI'	STRIPED MOTHER-IN-LAW TONGUE	3' X CLUMPING		
	SENECIO MANDRILLASCIE	BLUE CHALKSTICKS	1' X 2'		
	TRADESCANTIA PALLIDA 'PURPLE HEART'	PURPLE SPIDERWORT	1' X 3'		
	WISTERIA SINESIS	CHINESE WISTERIA	WINE		
	YUCCA WHIPPLEI	YUCCA	6' X 4'		
STREETSCAPE PLANTING SUCH AS:					
	ANIGOZANTHOS SPECIES	KANGAROO PAW	4' X 3'	2,775 SQ. FT.	
	CAREX TUMULOSA	FOTHILL SEDGE	2' X 2'	25% - 1 GALLON @ 12" O.C.	798
	DIANELLA REVOLUTA	BABY BLISS	4' X 2'	25% - 1 GALLON @ 24" O.C.	201
	FESTUCA MAIREI	ATLAS FESCUE	3' X 3'	50% - 5 GALLON @ 36" O.C.	178
	HEMEROCALLIS 'YELLOW'	DAYLILY	3' X 3'		
	LIMONUM PEREZII	SEA LAVENDER	2' X 2'		
	LEYMUS ARENARIUS 'GLAUCOUS'	BLUE LYME GRASS	4' X 3'		
	LIRIOPE SPICATA	CREERING LILY TURF	1' X 2'		
	MUHLENBERGIA RIGENS	DEER GRASS	4' X 5'		
	MISCANTHUS TRANSMORRISONENSIS	EVERGREEN MISCANTHUS	3' X 4'		
	VERBENA LILACINA 'DE LA MINA'	CEROIS ISLAND VERBENA	2' X 3'		
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	3' X 3'		
BIORETENTION PLANTING SUCH AS:					
	BOUTELOUA GRAUUS	BLUE GRAMA	2' X 2'	2,739 SQ. FT.	
	CAREX SPISSA	SAN DIEGO SEDGE	4' X 2'	25% - 1 GALLON @ 9" O.C.	1,146
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	4' X 3'	50% - 1 GALLON @ 18" O.C.	702
	FESTUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1' X 1'	25% - 5 GALLON @ 24" O.C.	198
	IRIS DOUGLASSIANA	DOUGLAS IRIS HEIGHT	2' X 3'		
	JUNCUS PATERNS	CALIFORNIA GRAY RUSH	2' X 2'		
	LESSINGIA FILAGINIFOLIA 'SILVER CARPET'	SILVER CARPET BEACH ASTER	1' X 6-8"		
	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	3' X 3'		
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	3' X 3'		
BUILDING SCREENING PLANTING SUCH AS:					
	CALLISTEMON SPECIES	CALLISTEMON	10' X 4'	5,818 SQ. FT.	
	CLYTOSTOMA CALLISTEGODES	VIOLET TRUMPET	WINE	25% - 1 GALLON @ 36" O.C.	187
	HEPTEROMELES ARBUTIFOLIA	TOYON	10' X 12'	50% - 5 GALLON @ 48" O.C.	210
	LIQISTRUM JAPONICUM 'DEKAMU'	JAPANESE PRIVET	6'-8" X 4'-6"	25% - 15 GALLON @ 48" O.C.	105
	LONICERA SEMPERVIRENS	TRUMPET HONEYSUCKLE	WINE		
	METROSIDEROS COLLINA 'SPRINGFIRE'	SPRINGFIRE OHIA	6'-8" X 3'-4"		
	PITTOSPORIUM TENAXIFOLIUM 'SILVER SHEEN'	SILVER SHEEN KOHUHU	12' X 6'-8"		
	PODOCARPUS HENKELII	LONG LEAFED YELLOWWOOD	13' TALL HEDGE		
	RHAMNUS EVE CASE	EVE CASE COFFEE BERRY	8' X 8'		
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	WINE		
PARKING SCREENING PLANTING SUCH AS:					
	BUXUS MICROPHYLLA JAPONICA (HEDGE)	JAPANESE BOXWOOD	5' X 5'	2,469 SQ. FT.	
	CARISSA MACROCARPA	DWARF NATAL PLUM	6' X 6'	25% - 1 GALLON @ 36" O.C.	79
	LANTANA SPECIES	LANTANA	2' X 4'	50% - 5 GALLON @ 48" O.C.	89
	LIRIOPE 'GIGANTEA'	GIGANT LILY TURF	3' X 3'	25% - 15 GALLON @ 48" O.C.	45
	MISCANTHUS SINESIS 'SENTINEL'	JAPANESE SILVER GRASS	3' X 3'		
	PITTOSPORIUM TOBIRA 'WHEELER'S DWARF'	DWARF MOCK ORANGE	4' X 5'		
	PORTULACARIA AFRICA 'AUREA'	YELLOW HAINBUSH	5' X 4'		
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	4' X 3'		
OTHER					
	----- ROOT BARRIER 10' LONG FOR ALL TREES WITHIN 5' OF HARDSCAPE				

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PLANTING LEGEND

L-302

SPECIMEN TREES



PINUS TORREYANA

PARKING LOT SHADE TREES



PLATANUS RACEMOSA



TRISTANA CONFERTA

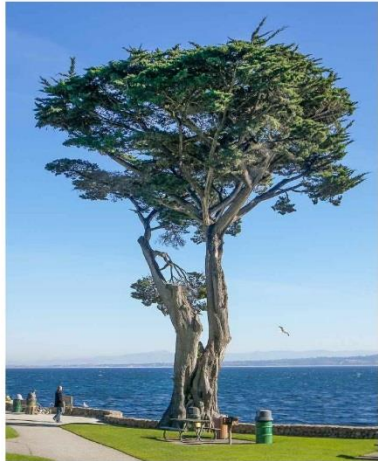


PODOCARPUS MACROPHYLLUS



GEIJERA PARVIFLORA

HOLIDAY / SPECIMEN TREES



CUPRESSUS MACROCARPA

ACCENT TREES



CERCIS OCCIDENTALIS



LAGERSTROMIA SPECIES



TABEBUIA IMPETIGINOSA

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PLANTING CHARACTER IMAGES
L-303

ORNAMENTAL



AEONIUM ARBOREUM 'ZWARTKOP'



AGAVE AMERICANA



AGAVE ATTENUATA NOVA



ALOE KEDONGENESIS



ARCTOSTAPHYLOS HOOKERI



ALOE STRIATA



BOUGAINVILLEA SPECIES



DIETES GRANDIFLORA



FRAGARIA CHILOENSIS



HEMEROCALLIS YELLOW



HESPERALOE PARVIFLORA



CEANOTHUS SPECIES



ALOE 'YELLOW TORCH'

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PLANTING
CHARACTER
IMAGES
L-304

ORNAMENTAL



ROSMARNIUS OFFICINALIS 'PROSTRATUS'



SALVIA SPECIES



SENECIO SERPENS



WISTERIA SINENSIS (VINE)

STREETSCAPE



CAREX TUMULICOLA



DIANELLA REVOLUTA



LEYMUS ARENARIUS 'GLAUCUS'



LIMONIUM PEREZII



LIRIOPE SPICATA



MUHLENBERGIA RIGENS



MISCANTHUS TRANSMORRISONENSIS

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**PLANTING
CHARACTER
IMAGES
L-305**

BIORETENTION



CHONDROPETALUM TECTORUM



LEYMUS CONDENSATUS 'CANYON PRINCE'



JUNCUS PATENS



FESTUCA 'ELJAH BLUE'

SCREENING



BUXUS MICROPHYLLA JAPONICA (HEDGE)



CARISSA MACROCARPA



CLYTOSTOMA CALLISTEGIOIDES



LIGUSTRUM JAPONICUM 'TEXANUM'



LIRIOPE GIGANTEA



PITOSPORUM TOBIRA 'WHEELER'S DWARF'



PODOCARPUS HENKELLI



TRACHELOSPERMUM JASMINOIDES

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PLANTING CHARACTER IMAGES
L-306

ABBREVIATIONS

ABV	ABOVE	EL	ELEVATION	INT	INTERIOR	S.A.C.T.	SUSPENDED ACOUSTICAL
ADJ	ADJUSTABLE	ELEC	ELECTRICAL	IF	INSIDE FACE	CEILING	CEILING TILE
AES	ARCH EXPOSED STEEL	EMER	EMERGENCY	INSUL	INSULATION	SCHED	SCHEDULE
AFF	ABOVE FINISH FLOOR	EXP	EXPOSED METAL	IN	INCHES	SECTION	SECTION
ALUM	ALUMINUM	EXP	EXPOSED	KIT	KITCHEN	S.G.	SAFETY GLASS
A.P.	ACCESS PANEL	E.O.C.	EDGE OF CONCRETE	MARM	MARMOLEUM	S.G.F.T.	STRUCTURAL GLAZED
APPROX	APPROXIMATE	EP	ELECTRICAL PANEL	MATL	MATERIAL		FACING TILE
AUTO	AUTOMATIC	EJ	EXPANSION JOINT	MAX	MAXIMUM	SH	SHelf
BD	BOARD	EQ	EQUAL	MDO	MDO PLYWOOD	SHT	SHT
BF	BRACE FRAME	EQPT	EQUIPMENT	MECH	MECHANICAL	SHTG	SHEATHING
BLDG	BUILDING	EXP	EXPOSED	MFR	MANUFACTURER	SM	SMILAR
BLKG	BLOCKING	ES	EXPOSED STRUCTURE	MN	MINIMUM	SL	SLIDER
BLW	BELOW	EXT	EXTERIOR	MO	MASONRY OPENING	SOG	SLAB ON GRADE
BM	BEAM	EXST	EXISTING	MR	MIRROR	S.S.	STAINLESS STEEL
BIS	BUILDING STANDARD	FA	FIRE ALARM	MTD	MOUNTED	ST	STAIR
BTWN	BETWEEN	F.A	FALL ARREST	MTL	METAL	STD	STANDARD
B.O.	BOTTOM OF	F.D.	FLOOR DRAIN	MUL	MULLION	STL	STEEL
BYD	BEYOND	F.E.C.	FIRE EXTINGUISHER CABINET	N.I.C.	NOT IN CONTRACT	STRUCT	STRUCTURE OR STRUCTURAL
C	CONDUIT	FEVC	FIRE EXTINGUISHER/ VALVE CABINET	NOM	NOMINAL	SUSP	SUSPENDED
CAB	CABINET	FAV	FACTORY FINISH	N.T.S.	NOT TO SCALE	TAG	TONGUE-AND-GROOVE
CB	CATCH BASIN	FLR	FLOOR	O.D.	OUTSIDE DIAMETER	TELE	TELEPHONE
CIP	CAST IN PLACE	FLUOR	FLUORESCENT	O.F.	OUTSIDE FACE	TER	TERRAZZO
C.J.	CONTROL JOINT	FN	FINISH	O.H.	OPPOSITE HAND	TERM	TERMINATION
CL	CENTER LINE	FF	FINISH FLOOR	OPNG	OPENING	THRESH	THRESHOLD
CLG	CEILING	FOIC	FURNISHED BY OWNER	OPP	OPPOSITE	THRD	THREADED
CMU	CONCRETE MASONRY UNIT	INSTALLED BY CONTRACTOR	PA	PLANTING AREA	UNIT	T.O.	TOP OF
COL	COLUMN	FOIO	FURNISHED BY OWNER	PART	PARTITION	T.O.B.	TOP OF BENCH
CON	CONNECTED	PCST	PRECAST	PCST	PRECAST	T.O.C.	TOP OF CONCRETE/ CURB
CONC	CONCRETE	FOIC	FURNISHED BY OWNER	PERIM	PERIMETER	T.O.P.	TOP OF PLANTER
CONT	CONTINUOUS	F.R.	FIRE RESISTANT	P.LAM	PLASTIC LAMINATE	TS	TUBE STEEL
CORR	CORRIDOR	FT	FOOT OR FEET	PLAS	PLASTER	TK	TRANSFORMED
CORR	CORRUGATED	FTG	FOOTING	P.L.	PROPERTY LINE	TYP	TYPICAL
CPEP	POLYETHYLENE PIPE	FRZ	FREEZER	PLYWD	PLYWOOD	U.C.	UNDER COUNTER
CPT	CARPET	FURR	FURRING	POLY	POLYETHYLENE	UG	UNDERGROUND
CNTR	COUNTER	PNT	PAINT	POLY	POLYETHYLENE	VCT	VINYL COMPOSITION TILE
CTR	CENTER	PR	PAIR	PREFIN	PREFINISHED	VERT	VERTICAL
CUST	CUSTOM	GL	GRID LINE	P.T.	PRESSURE TREATED	V.I.F.	VERIFY IN FIELD
D.E.F.S.	DIRECT EXTERIOR FINISH SYSTEM	GLB	GLUE-LAMINATED BEAM	PT	POINT	W/	WITH
DET	DETAIL	PTD	PAINTED	PT	POINT	WD	WOOD
DF	DRINKING FOUNTAIN	WB	WALK OFF GRATE	PTD	PAINTED	WH	WATER HEATER
DIAG	DIAGONAL	WOG	WALK OFF GRATE	RAD	RADIUS	WO	WITHOUT
DIA	DIAMETER	WOM	WALK OFF MAT	RBS	ROD & SHELF	WOG	WALK OFF GRATE
DIM	DIMENSION	W.P.	WORK POINT	RB	RUBBER	WOP	WALK OFF MAT
DWG	DRAWING	WR	WATER RESISTANT	REF	REFERENCE	WR	WATER RESISTANT
EA	EACH	WRGWB	WATER RESISTANT GYPSUM WALL BOARD	REFL	REFLECTED	WRGWB	WATER RESISTANT GYPSUM WALL BOARD
EAD	EXIT ACCESS DOOR	WT	WEIGHT	REFR	REFRIGERATOR	WT	WEIGHT
EED	EXTERIOR EXIT DOOR	UN.O.	UNLESS NOTED OTHERWISE	REQD	REQUIRED	UN.O.	UNLESS NOTED OTHERWISE
E.C.S.	EXPOSED CONCRETE BEAM STRUCTURE	HR	HOUR	RET	RETAINING		
		HT	HEIGHT	RM	ROOM		
		ID	INSIDE DIAMETER	RO	ROUGH OPENING		

PROJECT SPECIFIC ABBREVIATIONS

AAG	AVERAGE ADJOINING GRADE
CDM	CAMINO DEL MAR
DMMC	DEL MAR MUNICIPAL CODE

SYMBOLS LEGEND

	DRAWING NUMBER & TITLE
	NORTH ARROW
	DETAIL NUMBER OVER SHEET NUMBER
	BUILDING SECTION
	WALL SECTION
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	VERTICAL DATUM, WORKPOINT
	SPOT ELEVATION
	ROOM IDENTIFICATION
	DOOR IDENTIFICATION
	HIDDEN
	ABOVE
	BEYOND
	GRID LINE (G.L.)
	WALL TYPE, (REF INTERIOR PARTITION LEGEND (SHEET A-003))
	WINDOW / STOREFRONT TYPE, REF SHEET A- AC - ALUM. CURTAINWALL AS - ALUM. STOREFRONT AW - ALUM. WINDOW HM - HOLLOW METAL
	LOUVER TYPE, REF SHEET A- AL - ALUM. LOUVER HM - HM LOUVER
	TOILET ACCESSORY IDENTIFICATION
	KEYNOTE - EXTERIOR/ INTERIOR MATERIAL

GENERAL NOTES

APPLICABLE CODES & AUTHORITIES
 LAND USE AUTHORITY CITY OF DEL MAR
 BUILDING CODE AUTHORITY CITY OF DEL MAR, PLAN REVIEW BY ESGIL CORP.
 FIRE DEPARTMENT AUTHORITY CITY OF DEL MAR

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

CITY OF DEL MAR MUNICIPAL CODE
 2013 CALIFORNIA BUILDING CODE PART 2, TITLE 24 C.C.R.
 2013 CALIFORNIA ELECTRICAL CODE PART 3, TITLE 24 C.C.R.
 2013 CALIFORNIA MECHANICAL CODE PART 4, TITLE 24 C.C.R.
 2013 CALIFORNIA PLUMBING CODE PART 5, TITLE 24 C.C.R.
 2013 CALIFORNIA ENERGY CODE PART 6, TITLE 24 C.C.R.
 2013 CALIFORNIA FIRE CODE PART 5, TITLE 24 C.C.R.
 2013 CALIFORNIA REFERENCED STANDARDS PART 12, TITLE 24 C.C.R.
 2013 CALIFORNIA GREEN BUILDING STANDARDS, PART 11 OF TITLE 24 C.C.R.

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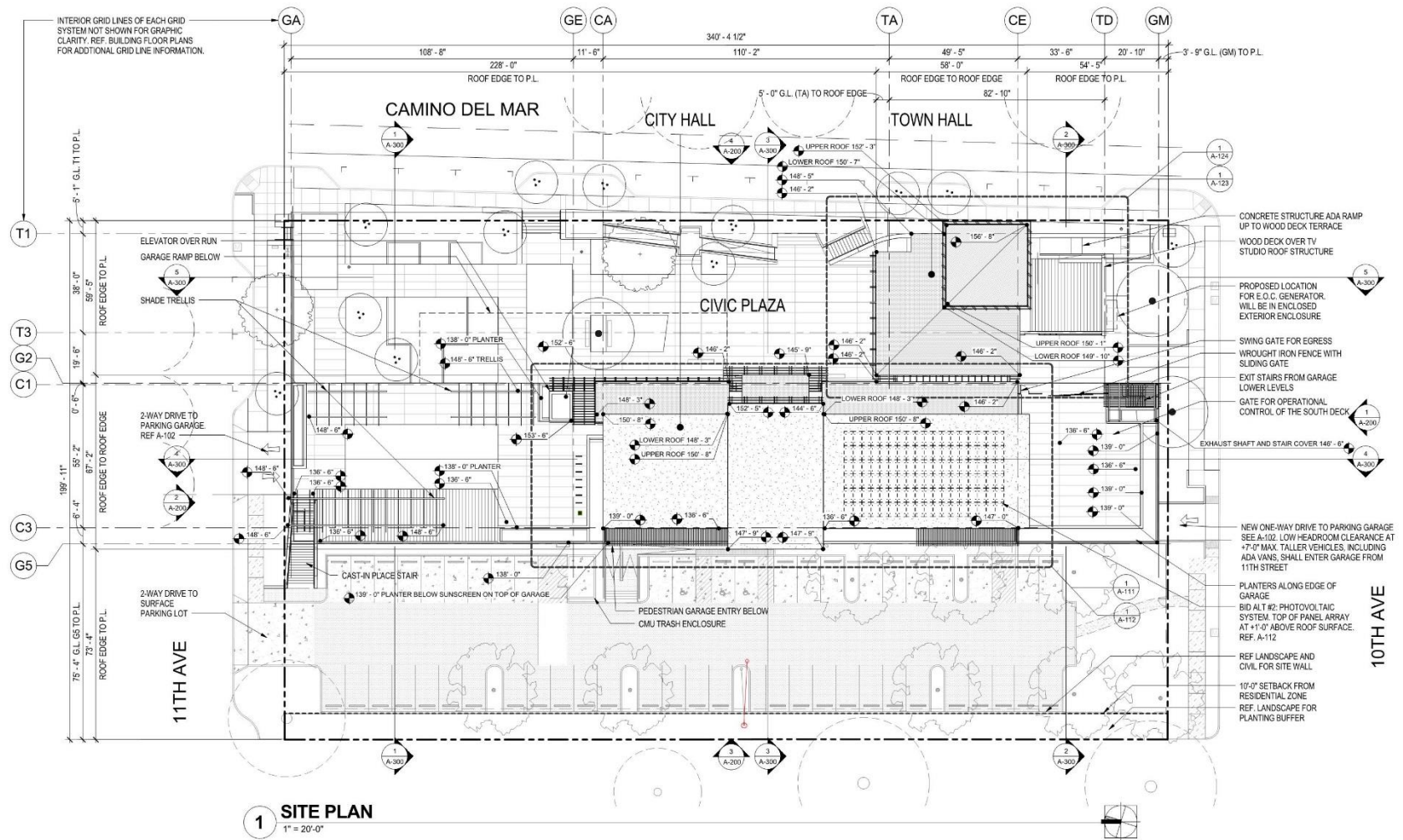
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**LEGENDS,
 NOTES &
 ABBREVIATIONS
 A-000**



1 SITE PLAN
1" = 20'-0"

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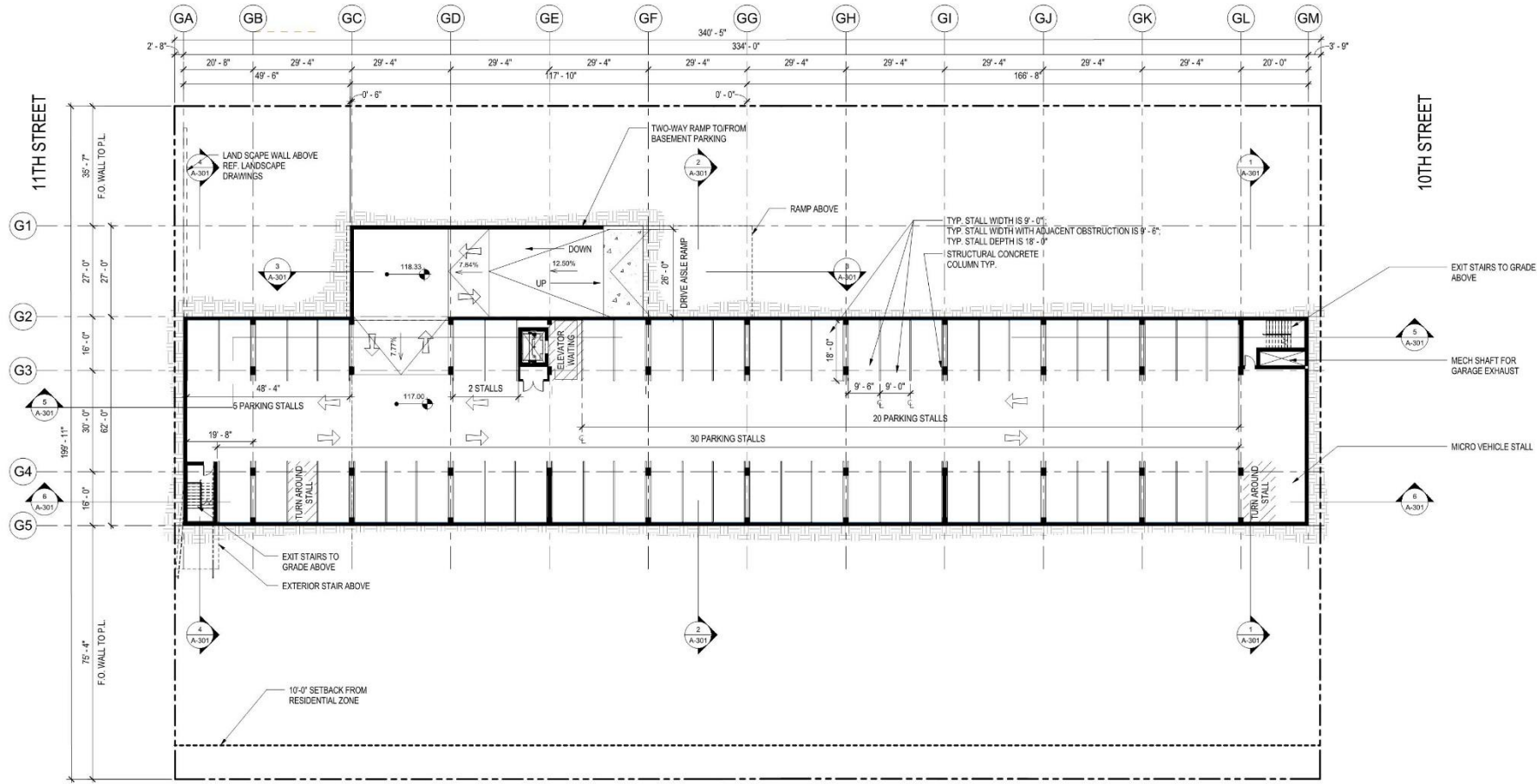
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ARCHITECTURAL
SITE PLAN
A-100

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CAMINO DEL MAR



1 LOWER LEVEL PARKING FLOOR PLAN
1/16" = 1'-0"

SHEET NOTES

AREA
LOWER LEVEL GARAGE AREA = 20,798 GSP*
*AREA DOES NOT INCLUDE VEHICLE RAMP, VEHICLE RAMP AREA IS INCLUDED IN UPPER LEVEL PARKING AREA

PARKING SUMMARY - LOWER LEVEL:
STANDARD STALLS = 57
ADA STALLS = 0
MICRO VEHICLE STALLS = 1
TOTAL STALLS = 58

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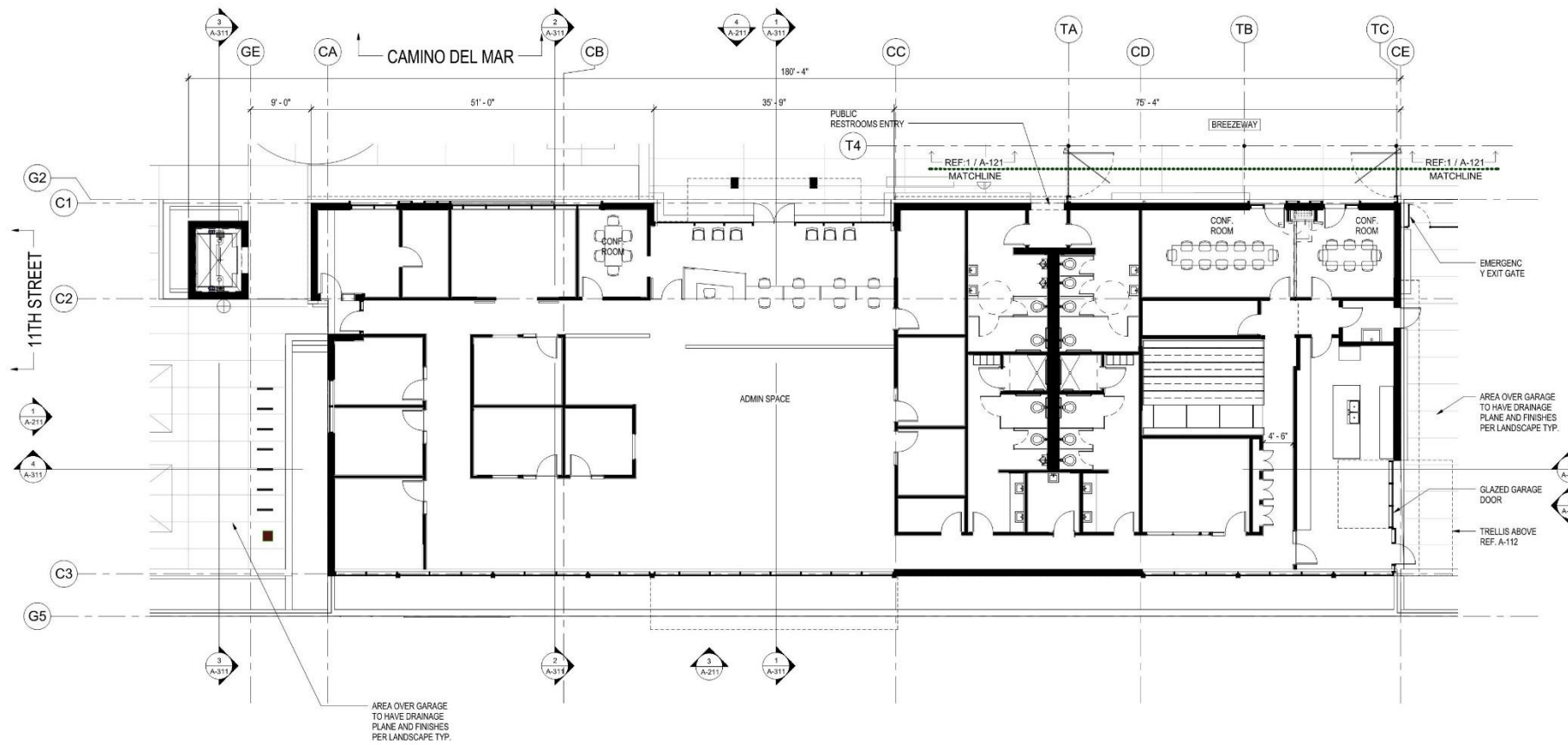
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LOWER LEVEL PARKING FLOOR PLAN
A-101

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1 PLAZA LEVEL - FLOOR PLAN
 1/8" = 1'-0"

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40% DESIGN DEVELOPEMENT
 - PRICING SET -
 7 DEC 2015

SHEET NOTES

AREA
 CITY HALL: 8,722 GSF
 TOWN HALL: 3,372 GSF
 TOTAL AREA: 11,894 GSF

BREEZEWAY (UNOCCUPIED): 956 GSF
 *INCLUDES ELEVATOR AREA

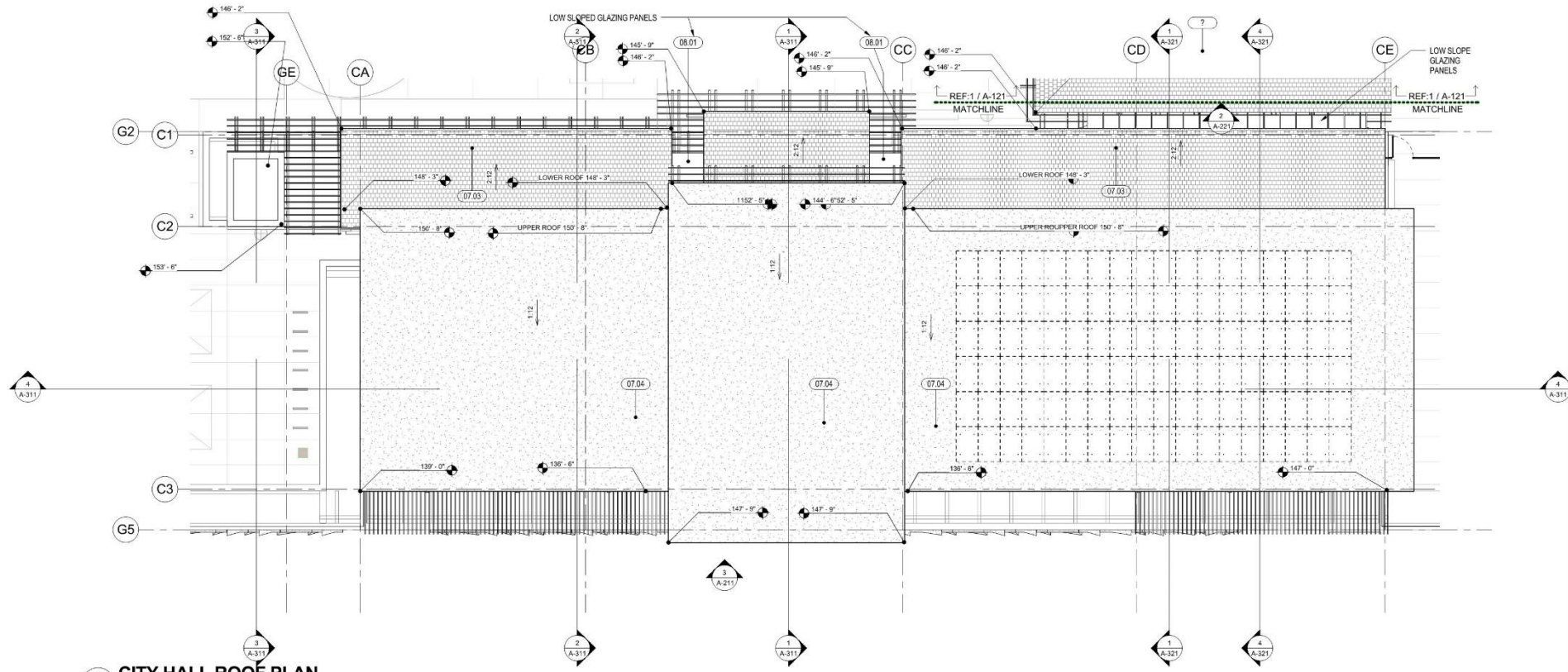
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**CITY HALL
 FLOOR PLAN
 A-111**

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1 CITY HALL ROOF PLAN
 1/8" = 1'-0"

KEYNOTE LEGEND	
KEY	NOTE
07.03	DIMENSION ASPHALT FLOOR SHINGLES W/ TWO LAYERS OF UNDERLAYMENT
07.04	SINGLE-PLY ROOFING MEMBRANE
08.01	ALUM. STOREFRONT SYSTEM W/ BRONZE FINISH

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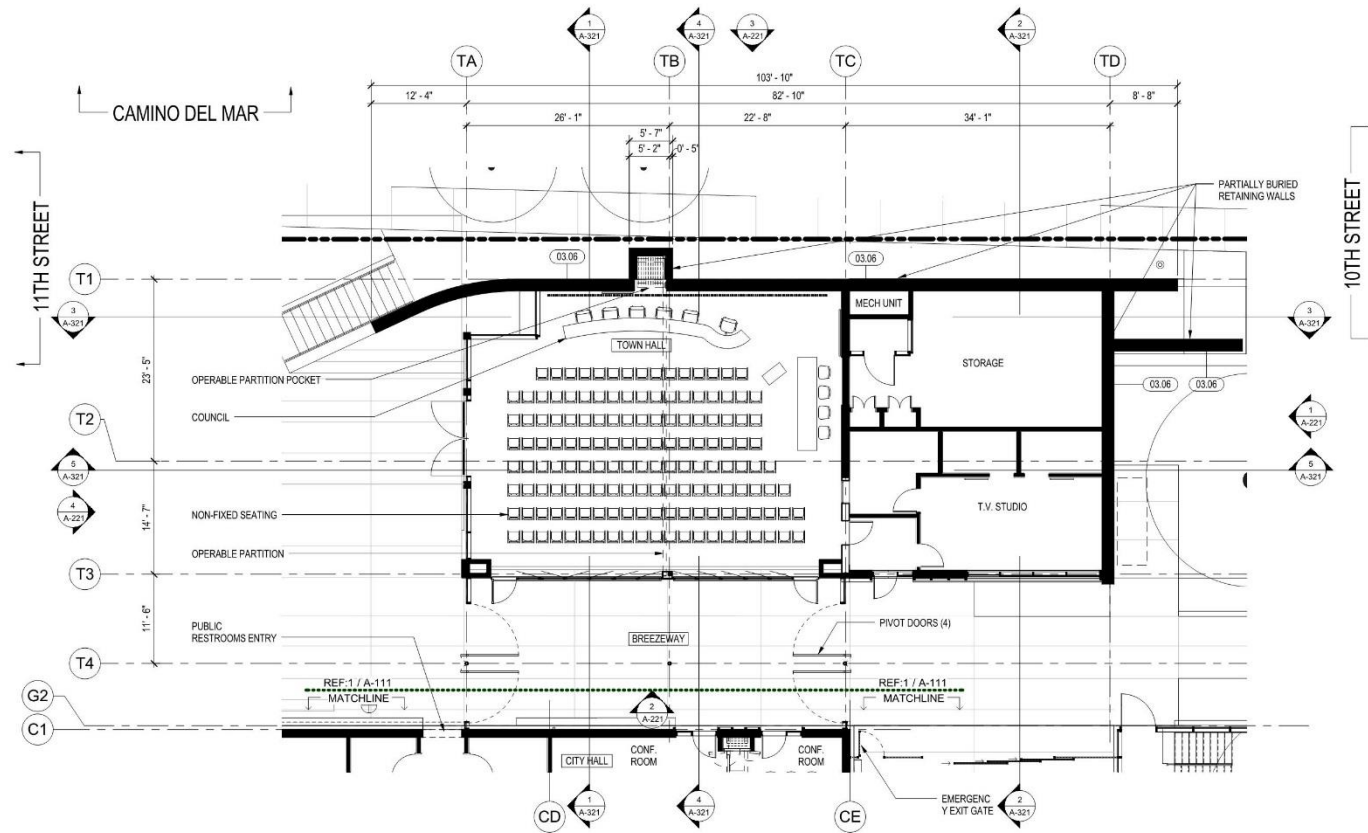
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**CITY HALL
 ROOF PLAN
 A-112**

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 12/20/15 11:54:05 AM



1 PLAZA LEVEL - FLOOR PLAN
 1/8" = 1'-0"

XX.XX	KEYNOTE LEGEND
KEY	NOTE
03.06	18" THICK WALL, ARCHITECTURAL CONCRETE, INTEGRAL COLOR, FORM LINER, SANDBLAST FINISH WITH ANTIGRAFFITI COATING

SHEET NOTES

AREA
 CITY HALL: 8,722 GSF
 TOWN HALL: 3,172 GSF
 TOTAL AREA: 11,894 GSF

BREEZEWAY (UNOCCUPIED): 956 GSF
 *INCLUDES ELEVATOR AREA

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40% DESIGN DEVELOPEMENT
 - PRICING SET -
 7 DEC 2015

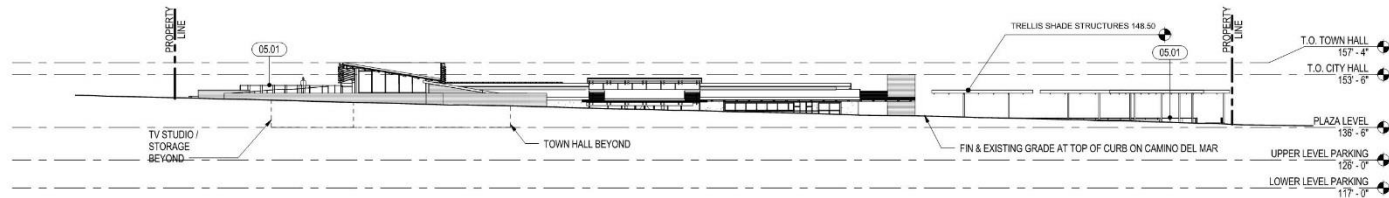
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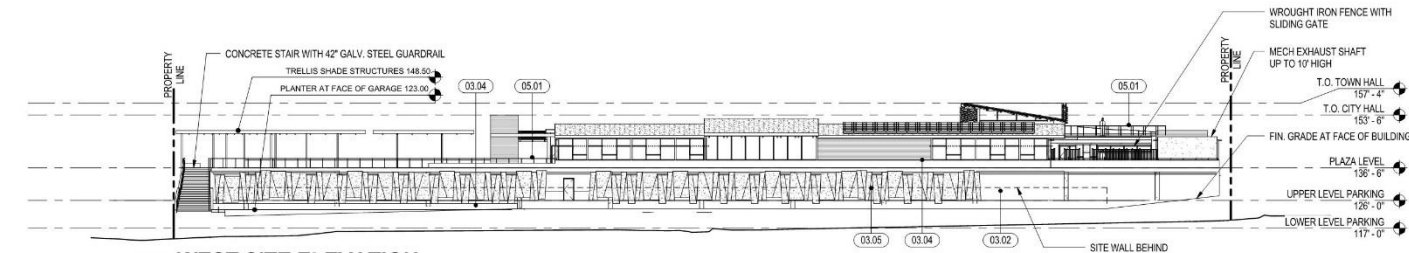
**TOWN HALL
 FLOOR PLAN
 A-121**

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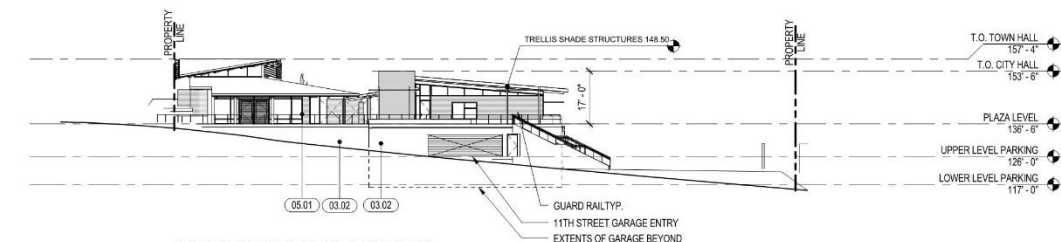
4 EAST SITE ELEVATION

1" = 20'-0"



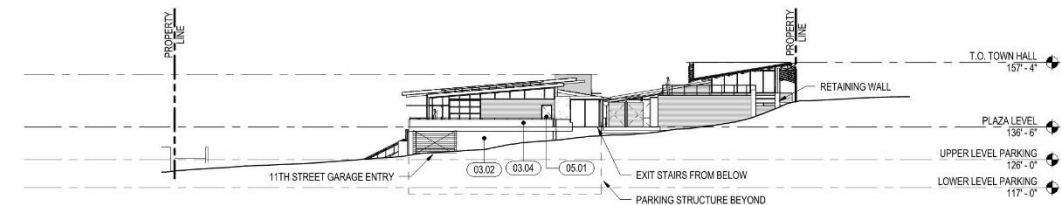
3 WEST SITE ELEVATION

1" = 20'-0"



2 NORTH SITE ELEVATION

1" = 20'-0"



1 SOUTH SITE ELEVATION

1" = 20'-0"

XX.XX		KEYNOTE LEGEND
KEY		NOTE
03.01	ARCHITECTURAL CONCRETE, INTEGRAL COLOR, FORM LINER, SANDBLAST FINISH WITH ANTIGRAFFITI COATING	
03.02	C.I.P. CONCRETE, STANDARD GRAY CONCRETE WITH ANTIGRAFFITI COATING	
03.03	C.I.P. CONCRETE WALL BASE (PER DETAILS)	
03.04	C.I.P. CONCRETE PLANTER WALL	
03.05	GLASS FIBER REINFORCED CONCRETE (GFRG) PANELS	
03.06	18" THICK WALL, ARCHITECTURAL CONCRETE, INTEGRAL COLOR, FORM LINER, SANDBLAST FINISH WITH ANTIGRAFFITI COATING	
05.01	METAL RAIL SYSTEM W/ GALVANIZED FINISH	
06.01	RAFTER TAILS; COMPOSITE WOOD SISTERED TO INTERIOR STRUCTURAL MEMBERS	
06.02	WOOD FASCIA W/ CLEAR FINISH	
06.03	WOOD TRIM W/ CLEAR FINISH	
07.01	STUCCO PLASTER FINISH	
07.02	HORIZONTAL WOOD SIDING W/ CLEAR FINISH	
07.03	DIMENSION ASPHALT FLOOR SHINGLES W/ TWO LAYERS OF UNDERLAYMENT	
07.04	SINGLE-PLY ROOFING MEMBRANE	
08.01	ALUM. STOREFRONT SYSTEM W/ BRONZE FINISH	
08.02	ALUM. STOREFRONT DOOR W/ CUSTOM WOOD CLADDING	

SHEET NOTES

- SEE SHEETS G-041 & G-042 FOR HEIGHT MEASUREMENTS

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SITE ELEVATIONS
A-200

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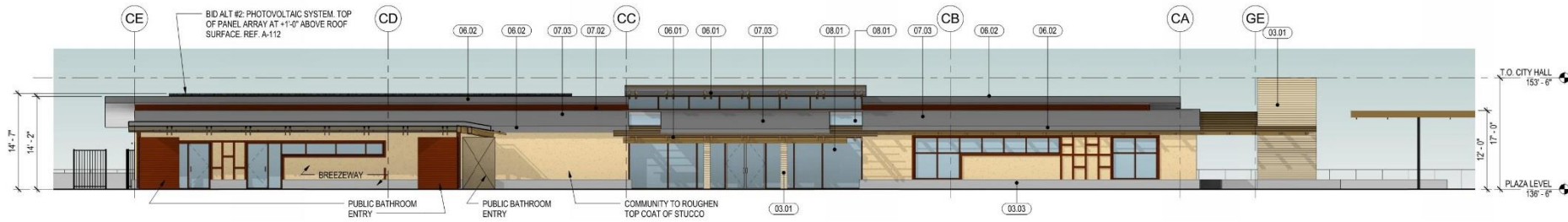
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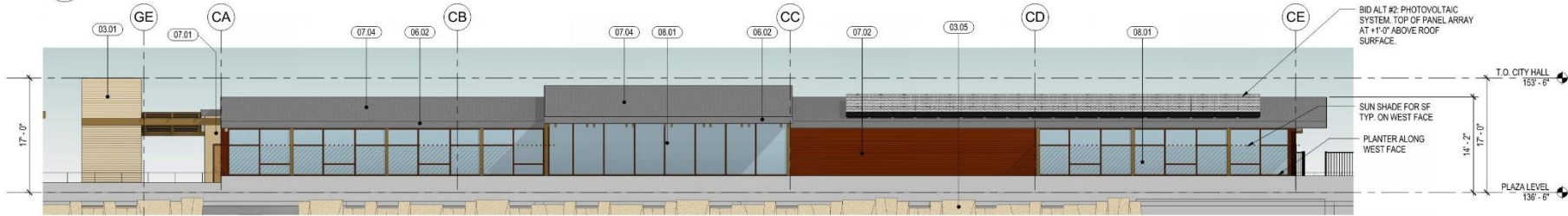
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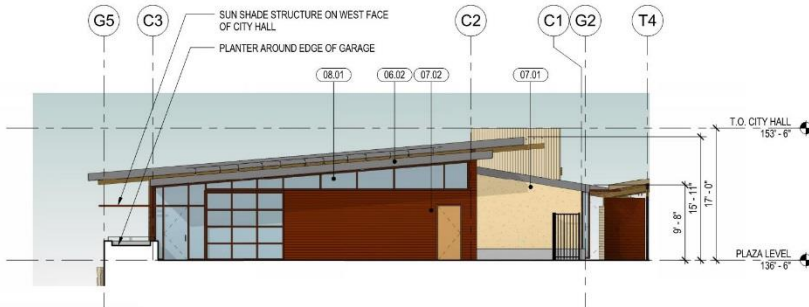
CITY HALL BUILDING ELEVATIONS A-211



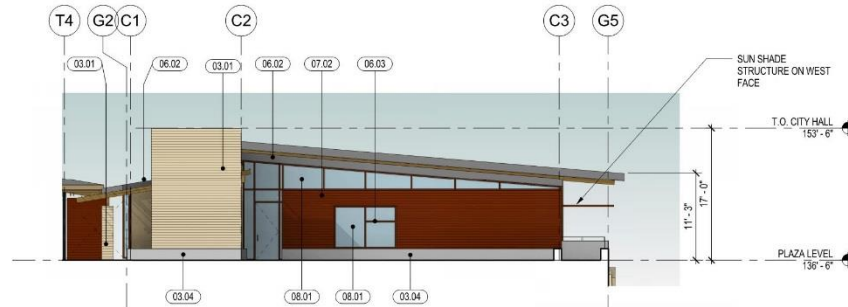
4 CITY HALL EAST ELEVATION



3 CITY HALL WEST ELEVATION



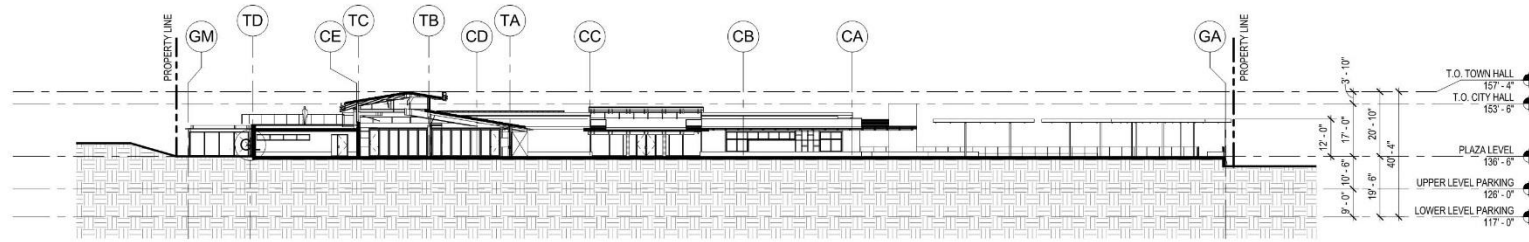
2 CITY HALL SOUTH ELEVATION



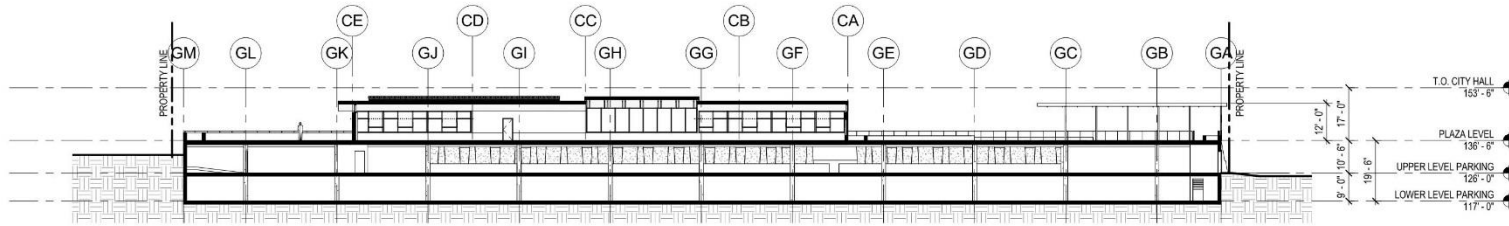
1 CITY HALL NORTH ELEVATION

KEY	NOTE
03.01	ARCHITECTURAL CONCRETE: INTEGRAL COLOR, FORM LINER, SANDBLAST FINISH WITH ANTIGRAFFITI COATING
03.02	C.I.P. CONCRETE: STANDARD GRAY CONCRETE WITH ANTIGRAFFITI COATING
03.03	C.I.P. CONCRETE WALL BASE (PER DETAILS)
03.04	C.I.P. CONCRETE PLANTER WALL
03.05	GLASS FIBER REINFORCED CONCRETE (GFR) PANELS
03.06	18" THICK WALL: ARCHITECTURAL CONCRETE: INTEGRAL COLOR, FORM LINER, SANDBLAST FINISH WITH ANTIGRAFFITI COATING
05.01	METAL RAIL SYSTEM W/ GALVANIZED FINISH

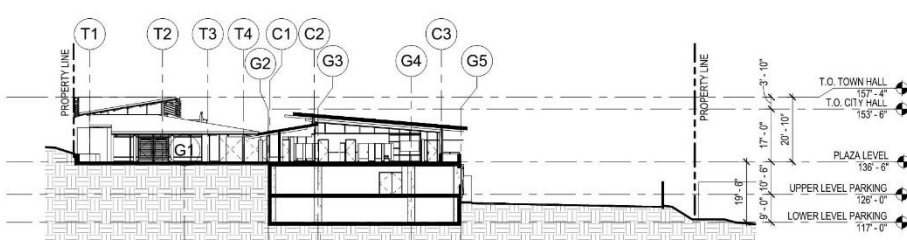
KEY	NOTE
06.01	RAFTER TAILS: COMPOSITE WOOD SISTERED TO INTERIOR STRUCTURAL MEMBERS
06.02	WOOD FASCIA W/ CLEAR FINISH
06.03	WOOD TRIM W/ CLEAR FINISH
07.01	STUCCO PLASTER FINISH
07.02	HORIZONTAL WOOD SIDING W/ CLEAR FINISH
07.03	DIMENSION ASPHALT FLOOR SHINGLES W/ TWO LAYERS OF UNDERLAYMENT
07.04	SINGLE-PLY ROOFING MEMBRANE
08.01	ALUM. STOREFRONT SYSTEM W/ BRONZE FINISH
08.02	ALUM. STOREFRONT DOOR W/ CUSTOM WOOD CLADDING



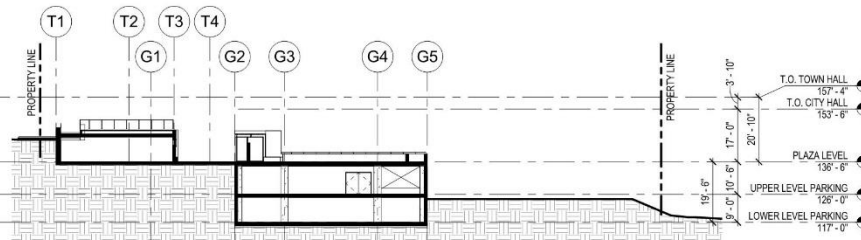
5 SITE SECTION N/S
 1" = 20'-0"



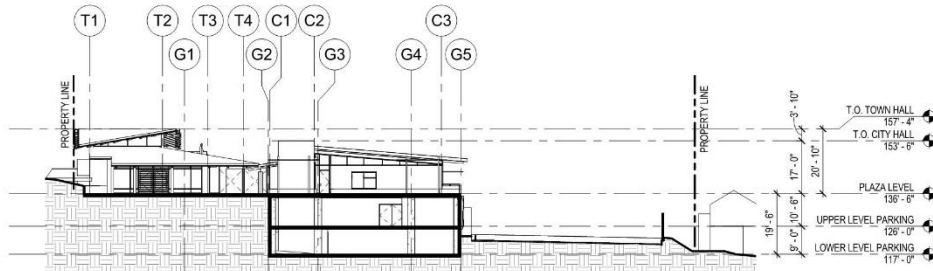
4 SITE SECTION N/S
 1" = 20'-0"



3 SITE SECTION E/W
 1" = 20'-0"



2 SITE SECTION E/W
 1" = 20'-0"



1 SITE SECTION E/W
 1" = 20'-0"

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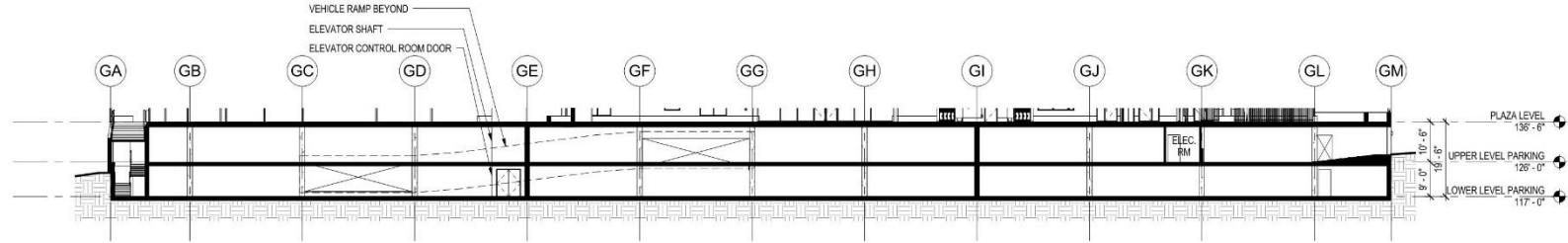
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No.	Description	Date

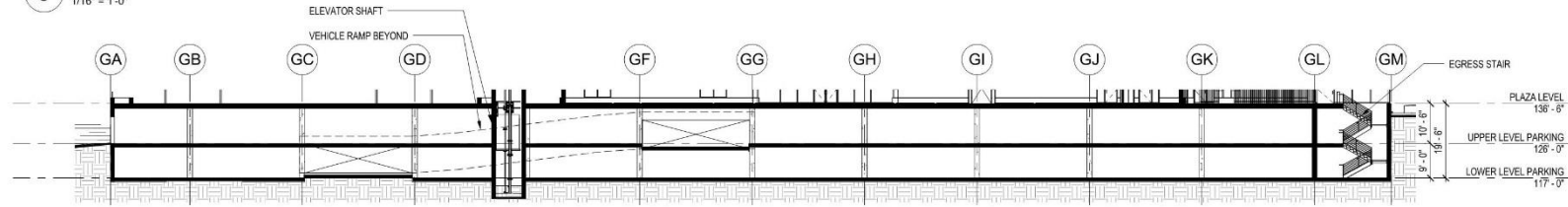
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SITE SECTIONS
A-300

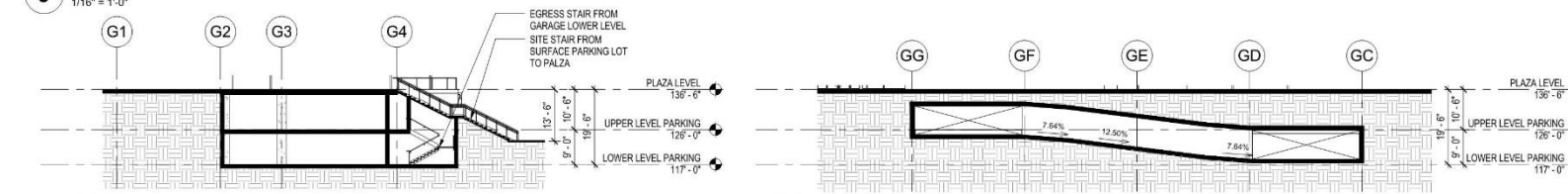
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6 GARAGE SECTION N/S
 1/16" = 1'-0"

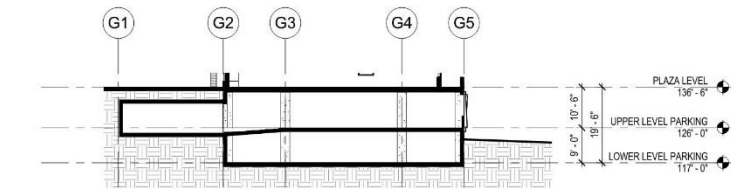


5 GARAGE SECTION N/S
 1/16" = 1'-0"

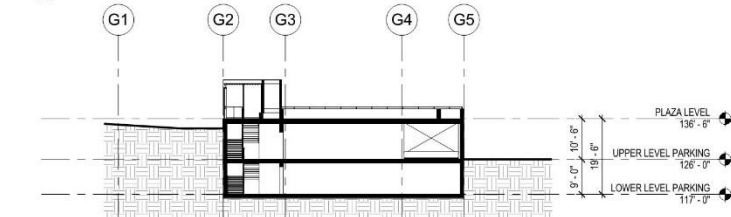


4 GARAGE SECTION E/W
 1/16" = 1'-0"

3 GARAGE SECTION THROUGH RAMP
 1/16" = 1'-0"



2 GARAGE SECTION E/W
 1/16" = 1'-0"



1 GARAGE SECTION E/W
 1/16" = 1'-0"

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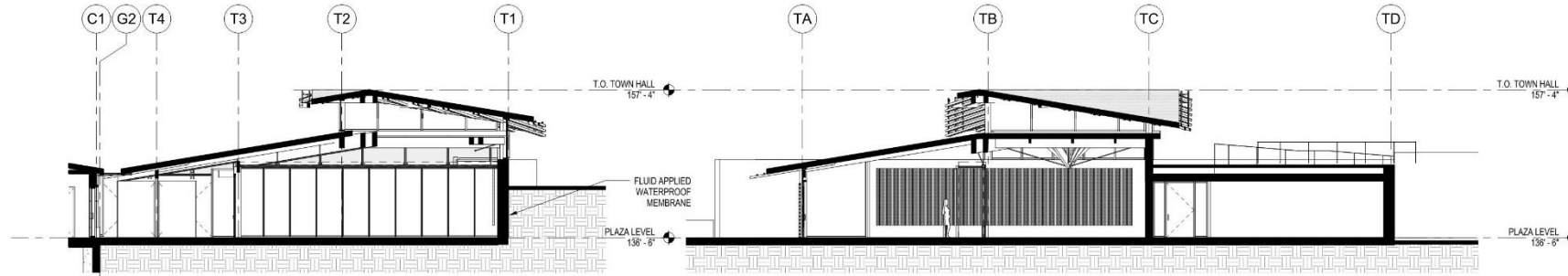
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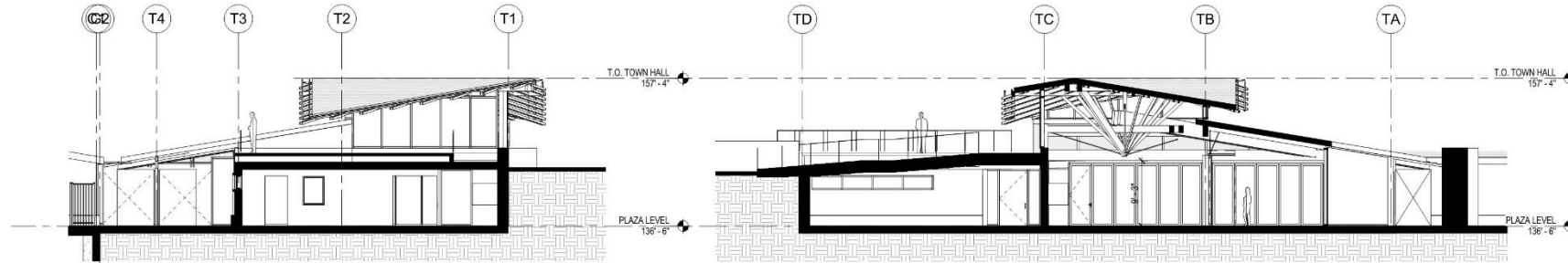
PARKING GARAGE SECTIONS A-301

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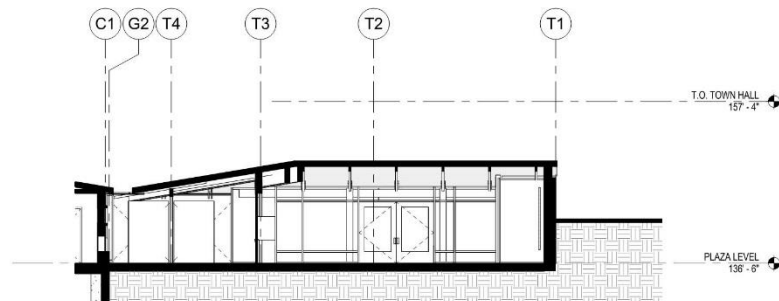
4 TOWN HALL BUILDING SECTION E/W 33
 1/8" = 1'-0"

5 TOWN HALL BUILDING SECTION N/S
 1/8" = 1'-0"



2 TOWN HALL BUILDING SECTION E/W
 1/8" = 1'-0"

3 TOWN HALL BUILDING SECTION N/S
 1/8" = 1'-0"



1 TOWN HALL BUILDING SECTION E/W
 1/8" = 1'-0"

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40% DESIGN DEVELOPEMENT

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TOWN HALL BUILDING SECTIONS A-321

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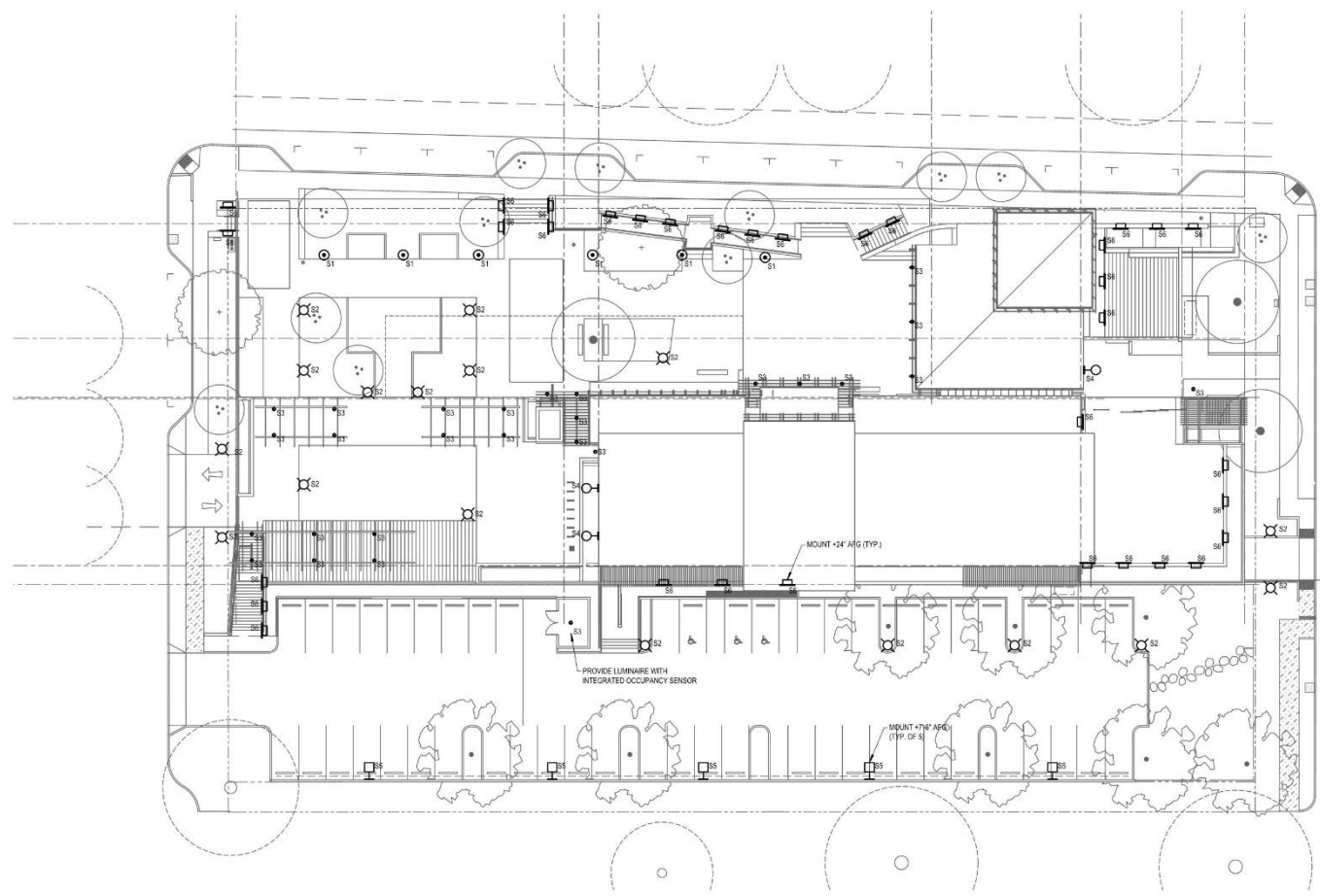
GENERAL NOTES

1. REFER TO SHEET E0-1 FOR FOR ABBREVIATIONS, SYMBOLS, AND ADDITIONAL NOTES.
2. ALL BRANCH SITE LIGHTING CONDUCTORS AND HOMERUNS SHALL BE #12 AWG, UNLESS OTHERWISE NOTED.

MILLER HULL

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NOTE:

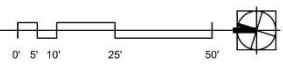
ONE FOOTCANDLE IS DEFINED AS A UNIT OF ILLUMINATION ON A SURFACE THAT IS A DISTANCE OF ONE FOOT FROM A UNIFORM POINT SOURCE OF LIGHT EQUIVALENT TO ONE CANDLE.

STANDARD INDUSTRY PRACTICE DICTATED TO PROVIDE AN AVERAGE OF ONE FOOTCANDLE ON PEDESTRIAN WALKING AREAS, SUCH AS THE PROPOSED CIVIC PLAZA AND PARKING LOT. THE MINIMUM ACCEPTABLE LIGHT LEVELS FOR THESE TYPES OF AREAS IS TYPICALLY 0.5 FOOTCANDLE AVERAGE.

BASED ON THE D.R.B. ORDINANCE, AS WELL AS INPUT FROM THE COMMUNITY AND CITY STAFF, THE DESIGN TEAM HAS RECEIVED DIRECTION TO PROVIDE VERY LOW ILLUMINATION LEVELS FOR SITE LIGHTING ON THE PROJECT. BE AWARE THAT THERE ARE SOME AREAS IN THE PARKING LOT THAT WILL BE BELOW THE RECOMMENDED MINIMUM 0.5-1.0 FOOTCANDLE AVERAGE.

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT VA	VOLTS
S1	⊙	(1) 40W LED	16'-0" POST-TOP AREA LED POLE LIGHT, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	POLE	NATIONAL LIGHTING SOLUTIONS NVA14-PR-75-30L-35-30K-AN-PT-3/R4MDF	40	120
S2	⊗	(1) 39W LED	42" DIE-CAST ALUMINUM LED BOLLARD, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	SURFACE	LITHONIA DSBLE-16C-700-30K-ANVOLT	39	120
S3	•	(1) 29W LED	6" ROUND SURFACE MOUNTED DOWNLIGHT, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	SURFACE	V2 LIGHTING CALP-ANVW-308330-51	29	120
S4	⊖	(1) 24W LED	6" ROUND WALL MOUNTED DOWNLIGHT, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	WALL	FC LIGHTING FCC010W-120V-4K2009-FL	24	120
S5	⊞	(1) 39W LED	DIE-CAST ALUMINUM EXTERIOR LED WALL SCONCE, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	WALL	LIGHTWAY BWW-13-LED-U-39W-3	36	120
S6	⊞	(1) 7W LED	DIE-CAST ALUMINUM EXTERIOR LED STEP LIGHT, SUITABLE FOR WET LOCATIONS.	ELECTRONIC	RECESSED	FC LIGHTING FCBL 105-120V-LED3K54	7	120

1 ELECTRICAL SITE PLAN
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ELECTRICAL SITE PLAN
E-100